

REMODEL

HAVEN LIVING

PROJECT TEAM

OWNER	ARCHITECT	INTERIOR DESIGN	GENERAL CONTRACTOR
SCOTT FOUSER MANAGING MEMBER REALNET GALLUP, LLC 2210 SW 77TH PLACE PORTLAND, OR 97225 (503) 803-3650 sdfouser@gmail.com	RICK BENNETT RBA ARCHITECTURE 1104 PARK AVE SW ALBUQUERQUE, NM 87102 (505) 242-1859 rick@rba81.com LICENSE: 1240	BRYCE AMATO AMATO DESIGN, LLC 10715 SW WAKEFIELD ST PORTLAND, OR 97225 (503) 260-1838 bryce@amatodesignllc.com	DAN BONAGUIDI BONAGUIDI CONSTRUCTION 501 PATTON DR GALLUP, NM 87301 P (505) 722-7430 dab7430@yahoo.com CONTRACTOR LICENSE: 377189
PLUMBING ENGINEERING	MECHANICAL ENGINEERING	ELECTRICAL ENGINEERING	
TODD KOLIBABA ASSOCIATE/SENIOR PLUMBING DESIGNER INTERFACE ENGINEERING, INC. (503) 382-2734 (503) 349-0537 todd@interfaceeng.com	PAUL HALLOWELL, PE ASSOCIATE/SENIOR MECHANICAL ENGINEER INTERFACE ENGINEERING, INC. (503) 382-2611 (724) 456-4677 paulh@interfaceeng.com	KRISTINE LEAVENS, PE SENIOR ELECTRICAL ENGINEER INTERFACE ENGINEERING, INC. (503) 382-2753 kristinel@interfaceeng.com	

PROJECT DATA

1. PROJECT TYPE	REMODEL
2. PROPOSED USE	RESIDENTIAL R-2
3. CONSTRUCTION TYPE	IIIA
4. ZONING	HC - HEAVY COMMERCIAL
5. AUTO FIRE EXTINGUISHING SYSTEM	
6. FIRE ALARM SYSTEM	
7. MAXIMUM DISTANCE TO EXIT	
8. MAXIMUM COMMON PATH OF TRAVEL	
9. NUMBER OF EXITS REQUIRED	
10. SEPA REQUIRED	2
11. STORIES ABOVE GRADE	
12. FOOTPRINT AREA	



VICINITY MAP

ADDRESS

3009 W HISTORIC HWY 66
GALLUP, NM 87301

PARCEL NO.

PID 2-110-087-085-545

G1.0

DRAWN BY: YOU

ABBREVIATIONS

&	AND	K.D.C.	KITCHEN DESIGN CONSULTANT
∠	ANGLE	KIT.	KITCHEN
@	AT	KW.	KILOWATTS
⊕	CENTERLINE	LAM.	LAMINATE
Ø	DIAMETER	LAV.	LAVATORY
±	PLUS OR MINUS	M.U.A.	MAKE UP AIR
#	POUND OR NUMBER	MAX.	MAXIMUM
		MECH.	MECHANICAL
A/C	AIR CONDITIONING	MFR.	MANUFACTURE(R)
A.C.T.	ACOUSTICAL CEILING TILE	MIN.	MINIMUM
A.F.F.	ABOVE FINISHED FLOOR	MIR.	MIRROR
ACOST.	ACOUSTIC	MISC.	MISCELLANEOUS
ADJ.	ADJUSTABLE	MTD.	MOUNTED
APX.	APPROXIMATE	MUL.	MULLION
ARCH.	ARCHITECT		
AUTO.	AUTOMATIC		
		N.I.C.	NOT IN CONTRACT
B.O.	BY OTHERS	N.T.S.	NOT TO SCALE
BLDG.	BUILDING	NO.	NUMBER
BLK(G).	BLOCK(ING)	NOM.	NOMINAL
BM.	BEAM		
BTWN.	BETWEEN	O.C.	ON CENTER
BOT.	BOTTOM	O.D.	OUTSIDE DIAMETER
		O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
C.F.C.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED
C.F.O.I.	CONTRACTOR FURNISHED, OWNER INSTALLED	OA.	OVERALL
C.F.M.	CUBIC FEET PER MINUTE	OH.	OVERHEAD
C.G.	CORNER GUARD	OPNG.	OPENING
C.J.	CONTROL JOINT		
C.L.	CENTERLINE	P.B.	PARTICLE BOARD
C.P.	CORD AND PLUG	P.L.	PROPERTY LINE
C.T.	CERAMIC TILE	P.LAM.	PLASTIC LAMINATE
C.W.	COLD WATER	P.	PAINT
CAB.	CABINET	PH.	PHASE
CEM.	CEMENT	PLWD.	PLYWOOD
CER.	CERAMIC	PR.	PAIR
CLG.	CEILING	PRESERV.	PRESERVATIVE
CLR.	CLEAR	PT.	POINT
CNTR.	COUNTER	PTN.	PARTITION
COL.	COLUMN	P.T.	PRESSURE TREATED
CONC.	CONCRETE		
CONN.	CONNECTION	Q.T.	QUARRY TILE
CONST.	CONSTRUCTION	QTY.	QUANTITY
CONT.	CONTINUOUS		
CONTR.	CONTRACTOR(OR)	R.	RISER
CPPT.	CARPET	R.B.	RUBBER BASE
CTR.	CENTER	R.O.	ROUGH OPENING
CTSK.	COUNTERSINK(SUNK)	R.T.	RUBBER TILE
		RAD.	RADIUS
DBL.	DOUBLE	RECEPT.	RECEPTACLE
DEPT.	DEPARTMENT	REF.	REFRIGERATOR
DET.	DETAIL	REINF.	REINFORCE(D)
DIA.	DIAMETER	REQ'D	REQUIRED
DIM.	DIMENSION	RESIL.	RESILIENT
DN.	DOWN	RM.	ROOM
DR.	DOOR	R.S.	ROUGH SAWN
DWR.	DRAWER	R/S	ROD AND SHELF
		S.C.	SOLID CORE
E.J.	EXPANSION JOINT	SD	SMOKE DETECTOR
E.W.	EACH WAY	S.S.	STAINLESS STEEL
EA.	EACH	S.C.	SHEET VINYL
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
ELEV.	ELEVATION	SECT.	SECTION
ELEV.R.	ELEVATOR	SH.	SHIELF
EQ.	EQUAL	SHT.	SHEET
EQUIP.	EQUIPMENT	SIM.	SIMILAR
EXH.	EXHAUST	SPEC.	SPECIFICATION
EXIST.	EXISTING	SQ.	SQUARE
EXT.	EXTERIOR	STD.	STANDARD
		STL.	STEEL
F.D.	FLOOR DRAIN	STOR.	STORAGE
F.E.(C.)	FIRE EXTINGUISHER (CABINET)	STRUCT.	STRUCTURAL
F.F.	FACTORY FINISH	SUSP.	SUSPENDED
F.O.C.	FACE OF CONCRETE	SYM.	SYMMETRICAL
F.O.F.	FACE OF FINISH		
F.O.FR.	FACE OF FRAMING	T.	TREAD
F.O.FND.	FACE OF FOUNDATION	T.&G.	TONGUE AND GROOVE
F.O.M.	FACE OF MASONRY	T.B.D.	TO BE DETERMINED
F.O.S.	FACE OF SHEATHING	T.I.	TENANT IMPROVEMENT
F.O.W.	FACE OF WALL	T.L.	TRUE LENGTH
F.S.	FLOOR SINK	T.O.	TOP OF
FIN.	FINISH	T.O.C.	TOP OF CONCRETE
FLR.	FLOOR	T.O.CB.	TOP OF CURB
FLOUR.	FLUORESCENT	T.O.F.	TOP OF FOUNDATION
FT.	FOOT/FEET	T.O.P.	TOP OF PARAPET
F.R.P.	FIBERGLASS REINFORCED PANEL	T.O.S.	TOP OF SLAB
FURR.	FURRING	T.O.W.	TOP OF WALL
		TEL.	TELEPHONE
G.R.	GUARD RAIL	THK.	THICK
G.W.B.	GYPSUM WALL BOARD	TV.	TELEVISION
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED		
		U.N.O.	UNLESS NOTED OTHERWISE
H.B.	HOSE BIB	V.C.T.	VINYL COMPOSITION TILE
H.C.	HOLLOW CORE	V.T.	VINYL TILE
HC.	HANDICAP(PED)	VEN.	VENER
H.M.	HOLLOW METAL	VERT.	VERTICAL
H.P.	HORSEPOWER	VEST.	VESTIBULE
H.R.	HAND RAIL		
H.W.	HOT WATER	W/(O)	WITH(OUT)
HVAC	HEATING/VENTILATION/AIR CONDITIONING	W.C.	WATER CLOSET
HDR.	HEADER	W.COV.	WALL COVERING
HDWD.	HARDWOOD	W.H.	WATER HEATER
HORIZ.	HORIZONTAL	W.R.	WATER RESISTANT
HR.	HOUR	WD.	WOOD
HT.	HEIGHT	W/D	WASHER AND DRYER
		WP.	WATERPROOF
I.D.	INSIDE DIAMETER	WSCT.	WAINSCOT
INCL.	INCLUDE(ED/ING) INCLUSIVE	W.W.F.	WELDED WIRE FABRIC
INSUL.	INSULATION	WT.	WEIGHT
INT.	INTERIOR		
J.H.A.	JURISDICTION HAVING AUTHORITY		
JAN.	JANITOR		
JT.	JOINT		

GENERAL NOTES

- ALL CONSTRUCTION TO COMPLY WITH THE CURRENT EDITION OF THE INTERNATIONAL EXISTING BUILDING CODE (IEBC) AND ALL AMENDMENTS TO SAID CODE CURRENTLY USED BY THE JURISDICTION HAVING AUTHORITY, AND ALL OTHER APPLICABLE CODES, REGULATIONS, AND AMENDMENTS.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH INFORMATION SUPPLIED BY THE OWNER AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION OF PORTIONS OF THE WORK ALREADY PERFORMED UNDER THIS CONTRACT TO DETERMINE THAT SUCH PORTIONS ARE IN PROPER CONDITION TO RECEIVE SUBSEQUENT WORK.
- SCHEDULES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE FROM PLANS, SECTIONS, ELEVATIONS, DETAILS AND SPECIFICATIONS, THE REQUIRED QUANTITY AND QUALITY OF EQUIPMENT AND MATERIALS TO COMPLETE THE PROJECT.
- DO NOT SCALE THE DRAWINGS - CONSULT ARCHITECT FOR ANY REQUIRED DIMENSIONAL CLARIFICATION. CONTRACTOR SHALL CAREFULLY REVIEW THE DIMENSIONS INDICATED ON THE DRAWINGS AS WELL AS FIELD CONDITIONS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS OR PROBLEMS, PRIOR TO CONSTRUCTING THE WORK.
- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT AND PRIOR TO ORDERING MATERIALS FOR EACH PORTION OF THE WORK.
- THE GENERAL CONTRACTOR TO COORDINATE SIZES AND LOCATIONS OF FLOOR AND WALL OPENINGS, PENETRATIONS AND SLEEVE LOCATIONS FOR ALL WORK PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
- EXCEPT WHERE OTHERWISE SPECIFIED THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER TO MAINTAIN ALL WORK, MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGES. AT THE END OF DAYS WORK ALL NEW WORK LIKELY TO BE DAMAGED SHALL BE COVERED OR OTHERWISE PROTECTED AS REQUIRED.
- THE CONTRACTOR SHALL MAINTAIN AT ALL TIMES ADEQUATE SAFETY BARRICADES AND CLEAR ACCESS IN AND OUT OF THE WORK SITE SO AS TO FACILITATE DAILY TRAFFIC, MOVEMENT, DELIVERIES, AND SAFETY.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES RELATING TO SAFE BUILDING PRACTICES DUE TO COVID-19.
- JURISDICTION APPROVED PLANS SHALL BE KEPT IN A SECURE PLACE AND SHALL NOT BE USED BY WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL SUBCONTRACTORS CONSTRUCTION SETS REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDUMS, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT AND ARE TO BE GIVEN TO THE OWNER UPON COMPLETION OF THE JOB.
- DOORS AND CASED OPENINGS INDICATED ADJACENT TO WALL INTERSECTIONS SHALL BE LOCATED WITH THE EDGE OF FINISHED OPENINGS A MINIMUM OF 3-INCHES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ANY CONTRACTOR WHOSE WORK REQUIRES PENETRATION OF THE ROOFING SYSTEM WILL CONTRACT WITH THE ROOFING CONTRACTOR TO FLASH AND SEAL SUCH WORK TO MAINTAIN ROOF WARRANT. ROOFING CONTRACTOR MUST BE LICENSED AND INSURED.
- THE ARCHITECT WILL NOT HAVE CONTROL OVER OR CHARGE OR, AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THESE DUTIES BELONG EXCLUSIVELY TO THE CONTRACTOR.
- ANY ALTERNATE, MODIFICATIONS AND/OR SUBSTITUTION DEEMED ACCEPTABLE BY THE JURISDICTION PROJECT INSPECTOR MAY BE IMPLEMENTED AFTER REVIEW AND APPROVAL BY THE ARCHITECT IN A TIMELY MANNER FOR REVIEW PRIOR TO ALTERNATE, MODIFICATION AND/OR SUBSTITUTION WORK IS INITIATED. WRITTEN DESCRIPTIONS AND SKETCHES SUBMITTED BY CONTRACTOR AND APPROVED FOR CONSTRUCTION WILL BE FILED WITH THE ORIGINAL JOB DOCUMENTS AS FINAL AS-BUILTS.

DEMOLITION NOTES

- GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING PROPOSALS TO BECOME FAMILIAR WITH ALL EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES TO SAFEGUARD AGAINST THE INTERRUPTION OF SERVICES TO THE OWNER OR TENANTS.
- OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS.
- REMOVE ALL UNUSED ELECTRICAL WIRING, CONDUITS, WATER PIPING, VENTS, ETC.
- DEMOLITION WORK SHALL NOT INTERFERE WITH ACCESS TO OCCUPIED SPACES. DEMOLITION CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION MEASURES TO SAFEGUARD THE PUBLIC DURING CONSTRUCTION ACTIVITIES.
- DEMOLITION CONTRACTOR SHALL NOT USE ANY CONSTRUCTION METHODS THAT WILL CAUSE DAMAGE TO WORK TO BE LEFT IN PLACE.
- WHILE EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL ITEMS TO BE REMOVED, IT IS THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO CONDUCT ON-SITE EXAMINATIONS AND FAMILIARIZE THEMSELVES WITH ACTUAL SITE CONDITIONS, ADDITIONAL ITEMS, NOT SHOWN TO BE REMOVED, INTERFERING WITH NEW CONSTRUCTION WORK, SHALL BE REMOVED WITHOUT ADDITIONAL COST TO OWNER. REPORT ANY DEVIATIONS, DISCREPANCIES AD/OR CONFLICTS TO ARCHITECT.
- CARE SHALL BE EXERCISED IN THE REMOVAL OF WORK TO PREVENT THE RELEASE OF TOXIC SUBSTANCES. SHOULD TOXIC SUBSTANCES, SUCH AS ASBESTOS OR LEAD PAINT BE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. UPON AUTHORIZATION, THE DISPOSAL OF SAME SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS. DISPOSAL SHALL BE DONE ONLY BY CONTRACTORS LICENSED FOR THIS WORK.
- DURING DEMOLITION AND CONSTRUCTION OPERATIONS, PROVIDE ALL NECESSARY PROTECTION AND SAFE PASSAGE FOR THE PUBLIC, SUCH AS, BUT NOT LIMITED TO, BARRICADES, TEMPORARY PARTITIONS, DUST BARRIERS, SIGNS, ETC. ERECT AND MAINTAIN THESE BARRIERS TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE RULES AND REGULATIONS.
- IF ANY EXISTING CONSTRUCTION THAT IS TO BE LEFT IN PLACE OR NOT SPECIFICALLY NOTED FOR REMOVAL IS DAMAGED DURING DEMOLITION OR NEW CONSTRUCTION WORK, IT SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ARCHITECTURAL DEMOLITION WORK WITH THAT OF THE MECHANICAL, PLUMBING, AND ELECTRICAL TRADES AND DRAWINGS. VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK. REFER TO ELECTRICAL, MECHANICAL, AND PLUMBING DEMOLITION DRAWINGS FOR ADDITIONAL ITEMS.
- REMOVE ALL WALLS, DOORS, AND OTHER ITEMS SHOWN DASHED - FIELD VERIFY CONSTRUCTION OF ALL WALLS TO BE REMOVED - PROVIDE SHORING AND BRACING AS REQUIRED.
- ALL ITEMS WITHIN WALL TO BE REMOVED ARE NOT SHOWN - FIELD VERIFY EXISTING CONDITIONS AND TEMPORARILY OR PERMANENTLY REMOVE ITEMS AS NECESSARY FOR NEW CONSTRUCTION.
- REMOVE ALL FLOORING WHERE NOTED INCLUDING ADHESIVES, SETTING MATERIALS, TRANSITION MATERIALS, ETC. AND RUBBER WALL BASE. SAW OUT CONCRETE SLAB FOR NEW WORK AND AS REQUIRED FOR DEMOLITION (HOLDING CUTTING TO A MINIMUM) PROTECT WALLS FROM DAMAGE.
- FIELD VERIFY ALL WALL AND CEILING ASSEMBLIES AND MAINTAIN OR RETROFIT AS NECESSARY TO MAINTAIN NECESSARY FIRE RATING.

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PROJECT
HAVEN LIVING

TOWN, STATE	
DATE:	DATE
PROJECT NO.	NO.
REVISION	DATE
1	
2	
3	
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5	
6	

- NOTES:
- ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
 - HOUSE DATUM: X'-X" - 0'-0"

APPLICABLE CODES

2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2017 INTERNATIONAL ELECTRICAL CODE
2015 INTERNATIONAL FIRE CODE
2015 INTERNATIONAL ENERGY CONSERVATION CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 INTERNATIONAL PLUMBING CODE-

DEFERRED SUBMITTALS

FIRE SPRINKLER DESIGN
STORAGE UNIT DESIGN BY JANUS
CIVIL ENGINEERING FOR PARKING LOT AND LANDSCAPE PLAN

COVER SHEET

SCALE: X"-1'-0"

G1.0

DRAWN BY: YOU

WORK SCOPE

SITE AND PARKING

RESEAL AND REPAINT PARKING STRIPES.
ADD TRASH ENCLOSURES.
ADD ACCESSIBLE PATH TO PUBLIC WAY.
REPAIR EXTERIOR WALLS AS NEEDED. REPAINT.
REPAIR SIDEWALKS

BUILDING INTERIOR

REMODEL EXISTING UNITS, ADD KITCHENETTE. REPLACE
HAND SINKS, TOILETS, AND TUBS. NEW PAINT. NEW FLOOR
FINISH. REPLACE DOOR HARDWARE. REPAIR OR REPLACE
DOORS.
NEW MINI-SPLIT UNITS FOR POOLSIDE UNITS.
HALLWAY CARPET TO BE REPLACED
INTERIOR TO BE REPAINTED.
KITCHEN AND CONVENTION AREA TO BE REMODELED INTO
STORAGE UNITS.

ZONE DISTRICT = HEAVY COMMERCIAL (HC)

BUILDING AREA	
1ST FLOOR	= 76,294 SF.
2ND FLOOR	= 37,209 SF.
TOTAL	= 113,503 SF.
DWELLING, MULTI-FAMILY USED PERMITTED WITH CONDITIONAL USE PERMIT.	
OPEN SPACE	
LOT	= 205,866 SF. 4.72 AC.
BUILDING	= 76,294 SF.
TOTAL	= 129,572 SF.
REQUIRED 30%	= 38,872 SF.
OPEN SPACE AREA PROVIDED	= 28,387 SF.
MAXIMUM HEIGHT ALLOWED	= 55 FT
HEIGHT PROVIDED	= 24 FT
LANDSCAPING	
LOT	= 205,866 SF. 4.72 AC.
BUILDING	= 76,294 SF.
TOTAL	= 129,572 SF.
REQUIRED 10%	= 12,957 SF.
LANDSCAPING AREA PROVIDED	= 15,828 SF.

PARKING REQUIREMENTS	
1 BR UNITS 126 TOTAL @ 1.5=	189 SPACES
GUEST SPACES 1 @ 5 D.U. =	25 SPACES
TOTAL REQUIRED	= 216 SPACES
TOTAL PROVIDED	= 220 SPACES
8 ACCESSIBLE PARKING SPACES 2 VAN ACCESSIBLE	
BICYCLE SPACES REQUIRED =	7 SPACES
BICYCLE SPACE PROVIDED =	10 SPACES

CODE DATA: PHASE 1

EXISTING BUILDING
CURRENT OCCUPANCY: R-1 (HOTEL)
TYPE OF CONSTRUCTION: TYPE IIIA
ALLOWABLE BLDG. HT. 504.3 TYPE IIIA: 65' (NS NON-SPRINKLED)
ALLOWABLE NO. STORES 504.4 TYPE IIIA: 4 (NS NON-SPRINKLED)
ALLOWABLE AREA 506.2 TYPE IIIA, R-1: 24,000 (NS NON-SPRINKLED)

1ST FLOOR POOL AREA: 15,681 SF
1ST FLOOR STUDIO UNITS AREA: 33,698 SF.
1ST FLOOR GYM/COMMON AREAS: 10,236 SF.
1ST FLOOR TOTAL AREA: 59,615 SF.

2ND FLOOR AREA: 37,209 SF
TOTAL REMODEL AREA 96,824 SF.

PHASE 2 AREA (NO WORK) 16,679 SF.
TOTAL BUILDING AREA 113,503 SF.

PROPOSED BUILDING - IBC CODE
NEW OCCUPANCY: R-2 (APARTMENTS) SPRINKLED
TYPE OF CONSTRUCTION: TYPE IIIA
ALLOWABLE BLDG. HT. 504.3 TYPE IIIA: 85' (SPRINKLED)
ALLOWABLE NO. STORIES 504.4 TYPE IIIA: 5 (SPRINKLED)
ALLOWABLE AREA 506.2 TYPE IIIA, R-2: 72,000 (SPRINKLED)
FRONTAGE INCREASE 506.3
INCREASE FACTOR (EQUATION 5-4) 1.94
AMOUNT OF INCREASE TO (EQUATION 5-5) 140,000 SF.

OCCUPANCY TABLE 1004.1.2:
1ST FLR UNITS AREA 33,698/200= 168 OCC.
POOL AREA 15,681/50 = 314 OCC.
GYM AREA 2,139/50 = 43 OCC.
COMMON AREA 8,097/15 = 540 OCC.
2ND FLR UNITS AREA 37,209/200 = 186 OCC.
TOTAL OCCUPANTS TOTAL OCCUPANTS =1,251 OCC.

1ST FLOOR POOL AREA: 15,681 SF
1ST FLOOR STUDIO UNITS AREA: 33,698 SF.
1ST FLOOR GYM/COMMON AREAS: 10,236 SF.
1ST FLOOR TOTAL AREA: 59,615 SF.
1ST FLOOR STORAGE AREA 16,679 SF.
TOTAL 1ST FLOOR AREA 76,294 SF.

1651 N HARVEST PARKWAY, C217
LIBERTY LAKE, WA 99019 © 2022

PROJECT
HAVEN LIVING

TOWN, STATE

DATE	DATE
PROJECT NO.	NO.

REVISION	DATE
1	
2	
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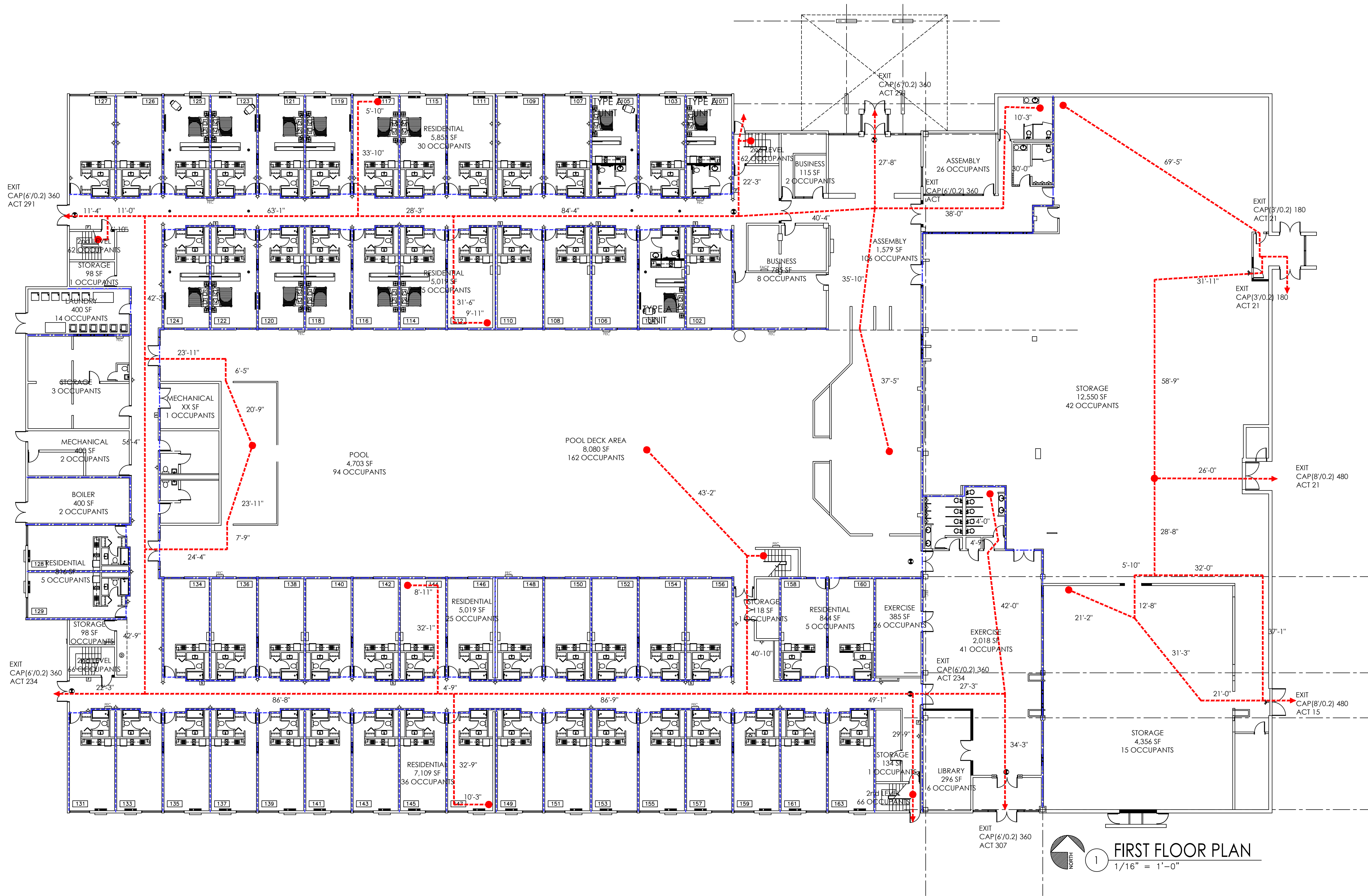
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

CODE
ANALYSIS

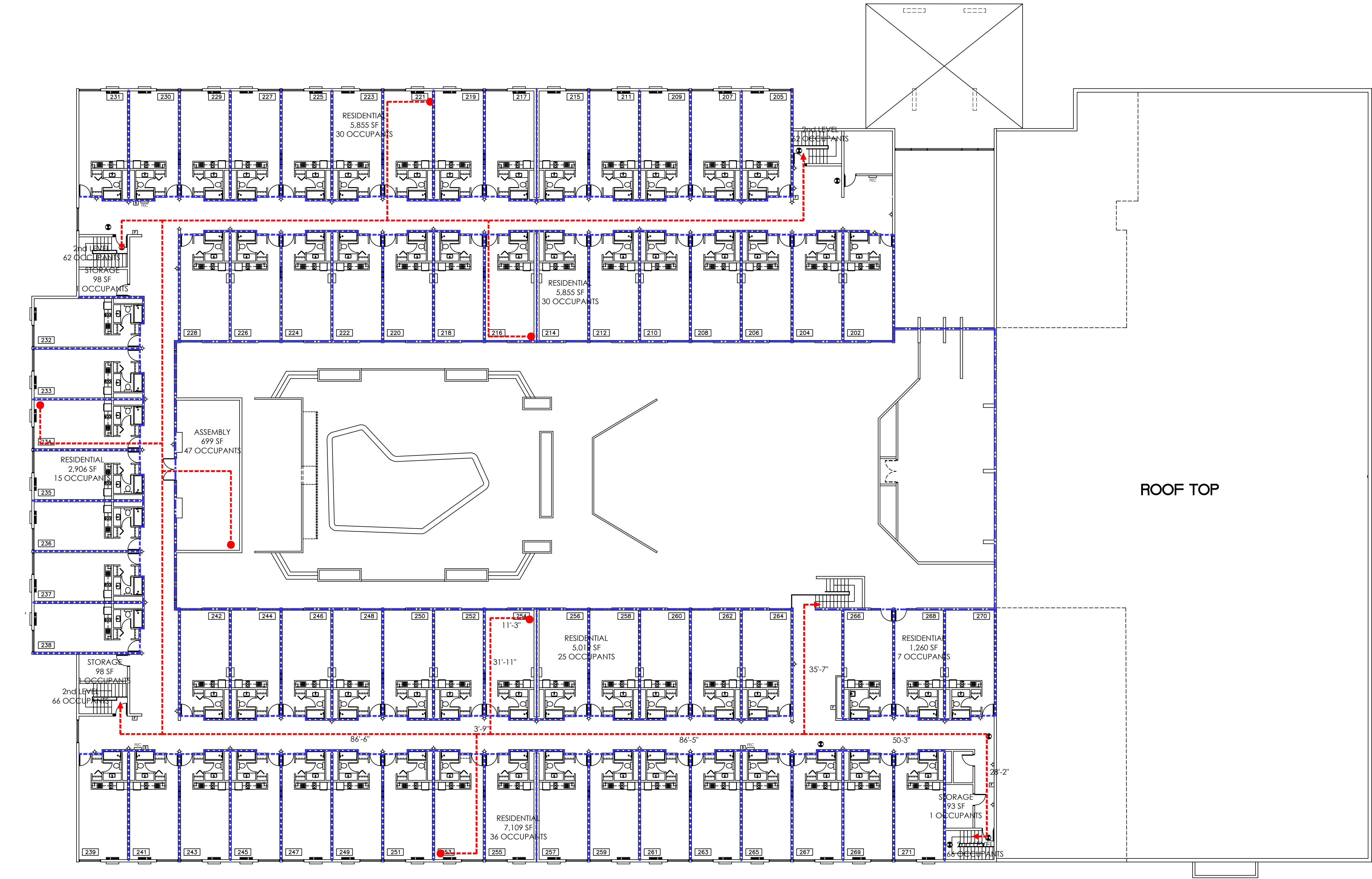
SCALE: X"=1'-0"

G2.0

DRAWN BY: YOU



TOWN, STATE	DATE
DATE:	PROJECT NO.
REVISION	DATE
1	
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3	
4	
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6	



2ND FLOOR APARTMENTS 37,209 S.F.
TOTAL SF 113,503 S.F

WALL LEGEND	
	DEMOLITION WALL
	EXISTING WALL
	NEW WALL

- 1/2 HOUR RATED WALL
- 1 HOUR RATED WALL
- 2 HOUR RATED WALL

MEANS OF EGRESS
PATH START, PATH,
DIRECTION

1651 N HARVEST PARKWAY, C217
LIBERTY LAKE, WA 99019

PROJECT
HAVEN LIVING

TOWN, STATE	
DATE:	DATE
PROJECT NO.	NO.
REVISION	
1	DATE
2	
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4	
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6	

NOTES:
1. ALL DIMENSIONS SHOWN ARE TO
F.A. STUD UNLESS OTHERWISE
NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

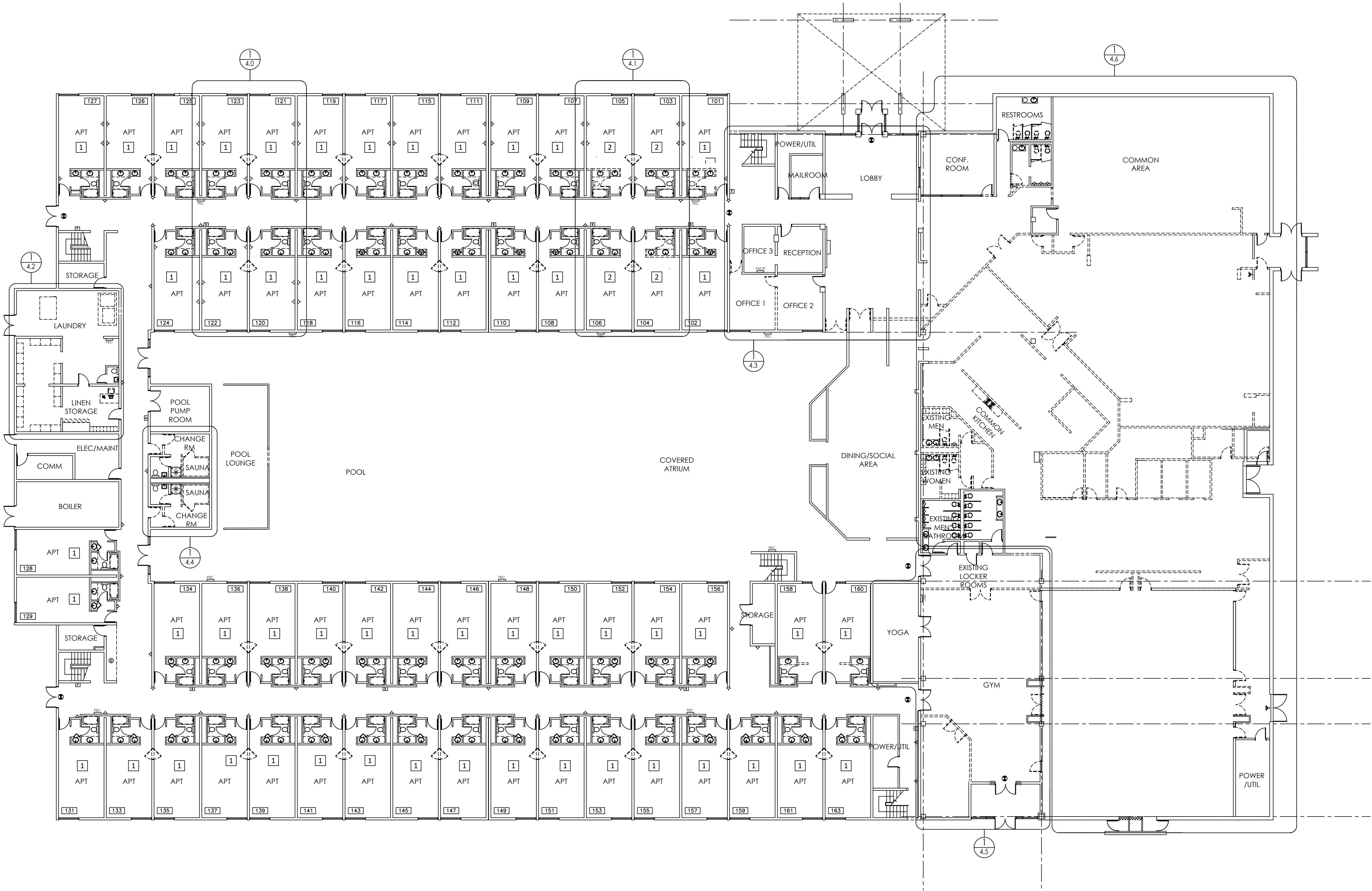
1 SECOND FLOOR PLAN
1/16" = 1'-0"

SECOND FLOOR
LIFE SAFETY
PLAN

SCALE: 1/16" = 1'-0"

G4.0

DRAWN BY: YOU



DEMOLITION NOTES:

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING PROPOSALS TO BECOME FAMILIAR WITH ALL EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES TO SAFEGUARD AGAINST THE INTERRUPTION OF SERVICES TO THE OWNER OR TENANTS.
3. OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS.
4. REMOVE ALL UNUSED ELECTRICAL WIRING, CONDUITS, WATER PIPING, VENTS, ETC.
5. DEMOLITION WORK SHALL NOT INTERFERE WITH ACCESS TO OCCUPIED SPACES. DEMOLITION CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION MEASURES TO SSAGUARD THE PUBLIC DURING CONSTRUCTION ACTIVITIES.
6. DEMOLITION CONTRACTOR SHALL NOT USE ANY CONSTRUCTION METHODS THAT WILL CAUSE DAMAGE TO WORK TO BE LEFT IN PLACE.
7. WHILE EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL ITEMS TO BE REMOVED, IT IS THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO CONDUCT ON-SITE EXAMINATIONS AND FAMILIARIZE THEMSELVES WITH ACTUAL SITE CONDITIONS, ADDITIONAL ITEMS, NOT SHOWN TO BE REMOVED, INTERFERING WITH NEW CONSTRUCTION WORK, SHALL BE REMOVED WITHOUT ADDITIONAL COST TO OWNER. REPORT ANY DEVIATIONS, DISCREPANCIES AND/OR CONFLICTS TO ARCHITECT.
8. CARE SHALL BE EXERCISED IN THE REMOVAL OF WORK TO PREVENT THE RELEASE OF TOXIC SUBSTANCES. SHOULD TOXIC SUBSTANCES, SUCH AS ASBESTOS OR LEAD PAINT BE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. UPON AUTHORIZATION, THE DISPOSAL OF SAME SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS. DISPOSAL SHALL BE DONE ONLY BY CONTRACTORS LICENSED FOR THIS WORK.
9. DURING DEMOLITION AND CONSTRUCTION OPERATIONS, PROVIDE ALL NECESSARY PROTECTION AND SAFE PASSAGE FOR THE PUBLIC, SUCH AS, BUT NOT LIMITED TO, BARRICADES, TEMPORARY PARTITIONS, DUST BARRIERS, SIGNS, ETC. ERECT AND MAINTAIN THESE BARRIERS TO THE SATISFACTION OF THE OWNER AND ALL APPLAULE RULES AND REGULATIONS.
10. IF ANY EXISTING CONSTRUCTION THAT IS TO BE LEFT IN PLACE OR NOT SPECIFICALLY NOTED FOR REMOVAL IS DAMAGED DURING DEMOLITION OR NEW CONSTRUCTION WORK, IT SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
11. COORDINATE ARCHITECTURAL DEMOLITION WORK WITH THAT OF THE MECHANICAL, ELECTRICAL TRADES AND DRAWINGS, VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK. REFER TO ELECTRICAL, MECHANICAL, AND PLUMBING DEMOLITION DRAWINGS FOR ADDITIONAL ITEMS.
12. REMOVE ALL WALLS, DOORS, AND OTHER ITEMS SHOWN DASHED - FIELD VERIFY CONSTRUCTION OF ALL WALLS TO BE REMOVED - PROVIDE SHORING AND BRACING AS REQUIRED.
13. ALL ITEMS WITHIN WALLS TO BE REMOVED ARE NOT SHOWN - FIELD VERIFY EXISTING CONDITIONS AND TEMPORARILY OR PERMANENTLY REMOVE ITEMS AS NECESSARY FOR NEW CONSTRUCTION.
14. REMOVE ALL FLOORING WHERE NOTED INCLUDING ADHESIVES, SETTING MATERIALS, TRANSITION MATERIALS, ETC. AND RUBBER WALL BASE. SAW CUT CONCRETE SLAB FOR NEW WORK AND AS REQUIRED FOR DEMOLITION (HOLDING CUTTING TO A MINIMUM) PROTECT WALLS FROM DAMAGE.
15. FIELD VERIFY ALL WALL AND CEILING ASSEMBLIES AND MAINTAIN OR RETROFIT AS NECESSARY TO MAINTAIN NECESSARY FIRE RATING.

DEMOLITION KEYNOTES:

- 1 FOR DEMOLITION AND PREP WORK SEE ENLARGED PLANS 1/A4.0
- 2 FOR DEMOLITION AND PREP WORK SEE ENLARGED PLANS 1/A4.1

1651 N HARVEY PARKWAY, C217
LIBERTY LAKE, WA 99019

PROJECT
HAVEN LIVING

TOWN, STATE	
DATE:	DATE
PROJECT NO.	NO.
REVISION	DATE
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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' - 0" 0"

FIRST FLOOR -
EXISTING AND
DEMO PLAN

SCALE: 1/16" = 1'-0"



EXISTING
FIRST FLOOR PLAN
1/16" = 1'-0"

DRAWN BY: YOU

A1.1



DEMOLITION NOTES:

1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE PRIOR TO SUBMITTING PROPOSALS TO BECOME FAMILIAR WITH ALL EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
2. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES TO SAFEGUARD AGAINST THE INTERRUPTION OF SERVICES TO THE OWNER OR TENANTS.
3. OWNER HAS FIRST RIGHT OF REFUSAL OF ALL SALVAGEABLE ITEMS.
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5. DEMOLITION WORK SHALL NOT INTERFERE WITH ACCESS TO OCCUPIED SPACES. DEMOLITION CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION MEASURES TO SAFEGUARD THE PUBLIC DURING CONSTRUCTION ACTIVITIES.
6. DEMOLITION CONTRACTOR SHALL NOT USE ANY CONSTRUCTION METHODS THAT WILL CAUSE DAMAGE TO WORK TO BE LEFT IN PLACE.
7. WHILE EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL ITEMS TO BE REMOVED, IT IS THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO CONDUCT ON-SITE EXAMINATIONS AND FAMILIARIZE THEMSELVES WITH ACTUAL SITE CONDITIONS, ADDITIONAL ITEMS, NOT SHOWN TO BE REMOVED, INTERFERING WITH NEW CONSTRUCTION WORK, SHALL BE REMOVED WITHOUT ADDITIONAL COST TO OWNER. REPORT ANY DEVIATIONS, DISCREPANCIES AND/OR CONFLICTS TO ARCHITECT.
8. CARE SHALL BE EXERCISED IN THE REMOVAL OF WORK TO PREVENT THE RELEASE OF TOXIC SUBSTANCES. SHOULD TOXIC SUBSTANCES, SUCH AS ASBESTOS OR LEAD PAINT BE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. UPON AUTHORIZATION, THE DISPOSAL OF SAME SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS. DISPOSAL SHALL BE DONE ONLY BY CONTRACTORS LICENSED FOR THIS WORK.
9. DURING DEMOLITION AND CONSTRUCTION OPERATIONS, PROVIDE ALL NECESSARY PROTECTION AND SAFE PASSAGE FOR THE PUBLIC, SUCH AS, BUT NOT LIMITED TO, BARRICADES, TEMPORARY PARTITIONS, DUST BARRIERS, SIGNS, ETC. ERECT AND MAINTAIN THESE BARRIERS TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE RULES AND REGULATIONS.
10. IF ANY EXISTING CONSTRUCTION THAT IS TO BE LEFT IN PLACE OR NOT SPECIFICALLY NOTED FOR REMOVAL IS DAMAGED DURING DEMOLITION OR NEW CONSTRUCTION WORK, IT SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
11. COORDINATE ARCHITECTURAL DEMOLITION WORK WITH THAT OF THE MECHANICAL, ELECTRICAL TRADES AND DRAWINGS, VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK. REFER TO ELECTRICAL, MECHANICAL, AND PLUMBING DEMOLITION DRAWINGS FOR ADDITIONAL ITEMS.
12. REMOVE ALL WALLS, DOORS, AND OTHER ITEMS SHOWN DASHED - FIELD VERIFY CONSTRUCTION OF ALL WALLS TO BE REMOVED - PROVIDE SHORING AND BRACING AS REQUIRED.
13. ALL ITEMS WITHIN WALLS TO BE REMOVED ARE NOT SHOWN - FIELD VERIFY EXISTING CONDITIONS AND TEMPORARILY OR PERMANENTLY REMOVE ITEMS AS NECESSARY FOR NEW CONSTRUCTION.
14. REMOVE ALL FLOORING WHERE NOTED INCLUDING ADHESIVES, SETTING MATERIALS, TRANSITION MATERIALS, ETC. AND RUBBER WALL BASE. SAW CUT CONCRETE SLAB FOR NEW WORK AND AS REQUIRED FOR DEMOLITION (HOLDING CUTTING TO A MINIMUM) PROTECT WALLS FROM DAMAGE.
15. FIELD VERIFY ALL WALL AND CEILING ASSEMBLIES AND MAINTAIN OR RETROFIT AS NECESSARY TO MAINTAIN NECESSARY FIRE RATING.

DEMOLITION KEYNOTES:

- 1 FOR DEMOLITION AND PREP WORK SEE ENLARGED PLANS 1/A4.0
2 FOR DEMOLITION AND PREP WORK SEE ENLARGED PLANS 1/A4.1

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PROJECT
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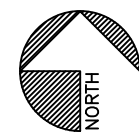
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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

SECOND FLOOR
EXISTING AND
DEMO PLAN

SCALE: 1/16" = 1'-0"

DRAWN BY: YOU



EXISTING
SECOND FLOOR PLAN
1/16" = 1'-0"

A1.2



GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. GENERAL CONTRACTOR TO COORDINATE DEMOLITION WORK WITH PLUMBING AND ELECTRICAL CONTRACTORS.
3. PLUMBING CONTRACTOR TO CAP OFF ANY PLUMBING TO BE ABANDONED AND TIE IN NEW KITCHEN SINK TO EXISTING PLUMBING AT LAVATORIES.
4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.
5. HALLWAY CARPET TO BE REPLACE, WALLS AND CEILINGS CLEANED, PAINTED OR REPAIRED AS NEEDED.
6. NO WORK TO BE DONE IN HALLWAYS OR GENERAL PUBLIC AREAS.

KEYED NOTES

1. PTAC UNIT – SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS
2. MINI SPLIT – SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS
3. SEE SHEET A-4.0 FOR ENLARGED UNITS DETAILS.
4. SEE SHEET A-4.1 FOR ACCESSIBLE ENLARGED UNITS DETAILS.
5. FRAME-IN OPENINGS TO MATCH EXISTING WALLS.
6. REPLACE EXISTING DOORS WITH NEW 30 MIN DOOR.
7. FLOORING BY OWNER.

WALL LEGEND

	DEMOLITION WALL
	EXISTING WALL
	NEW WALL

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PROJECT HAVEN LIVING

TOWN, STATE	DATE
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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X'X" - 0'-0"

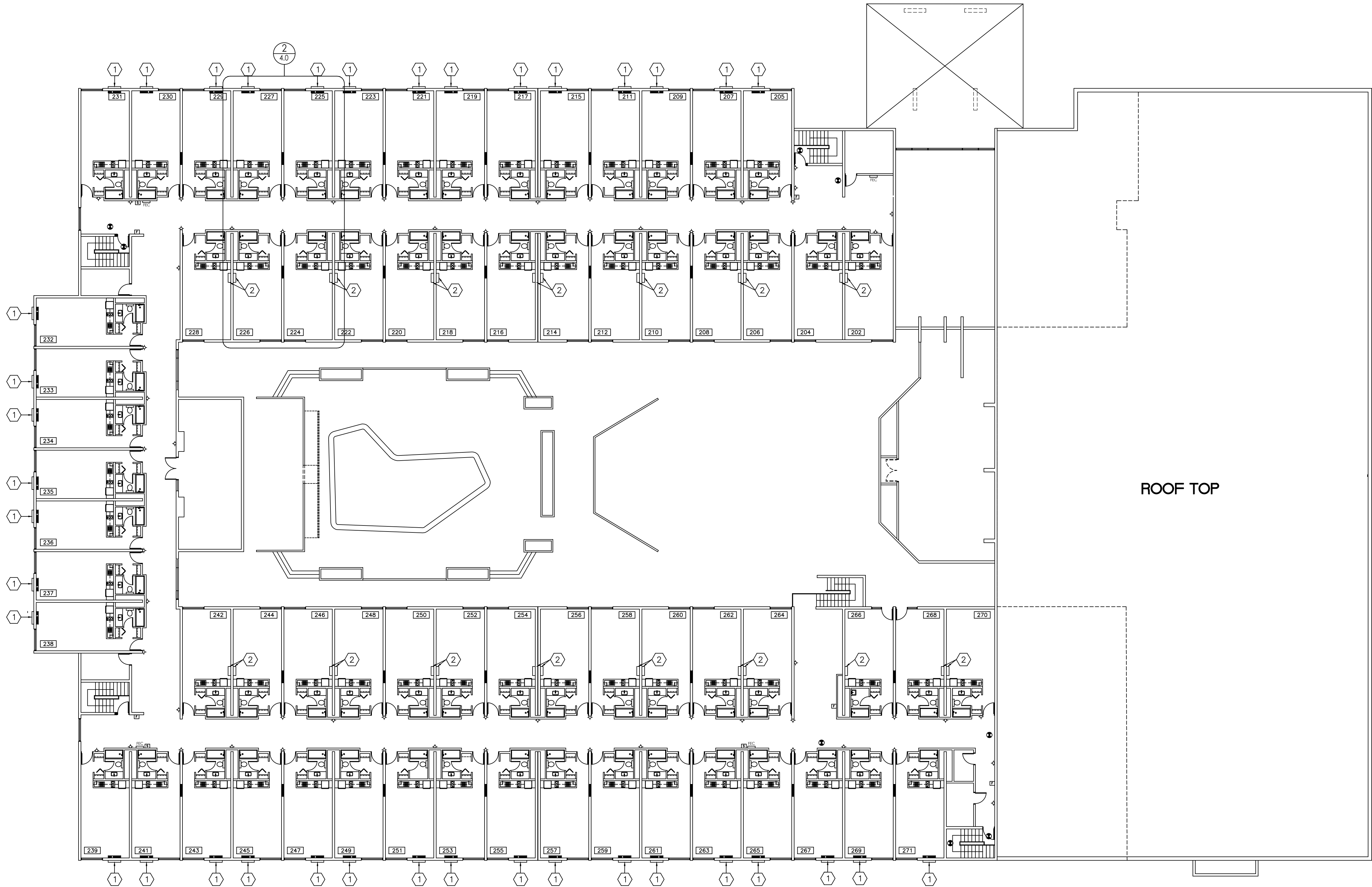
1 FIRST FLOOR PLAN
1/16" = 1'-0"

FIRST FLOOR PROPOSED PLAN

SCALE: 1/16" = 1'-0"

A1.3

DRAWN BY: YOU



GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. GENERAL CONTRACTOR TO COORDINATE DEMOLITION WORK WITH PLUMBING AND ELECTRICAL CONTRACTORS.
3. PLUMBING CONTRACTOR TO CAP OFF ANY PLUMBING TO BE ABANDONED AND TIE IN NEW KITCHEN SINK TO EXISTING PLUMBING AT LAVATORIES.
4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.
5. HALLWAY CARPET TO BE REPLACE, WALLS AND CEILINGS CLEANED, PAINTED OR REPAIRED AS NEEDED.
6. NO WORK TO BE DONE IN HALLWAYS OR GENERAL PUBLIC AREAS.

KEYED NOTES

1. PTAC UNIT – (REF DETAIL B/A–1.0) SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS
2. MINI SPLIT – SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS


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LIBERTY LAKE, WA 99019

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PROJECT
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REVISION	DATE
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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.A. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X-X' - 0'-0"

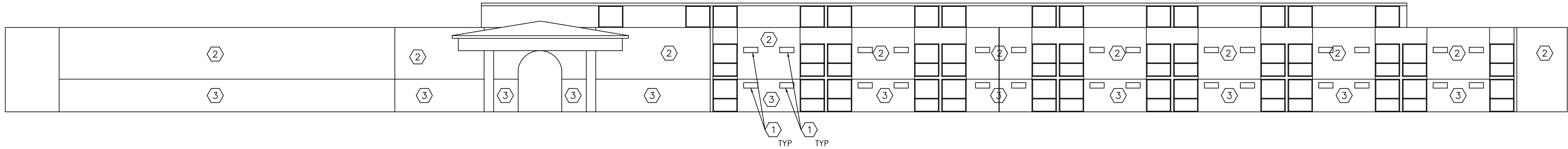
 1 SECOND FLOOR PLAN
1/16" = 1'-0"

SECOND FLOOR
- PROPOSED
PLAN

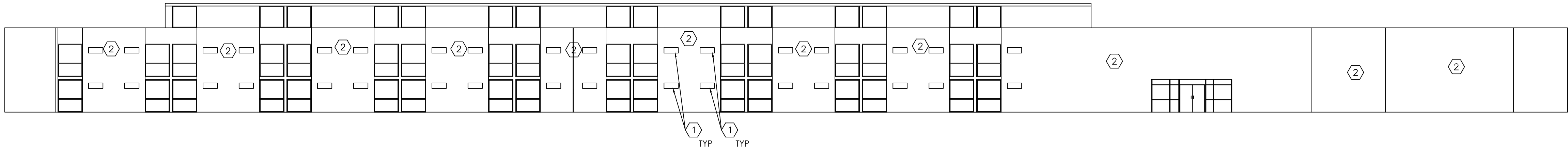
SCALE: X'-1'-0"

A1.4

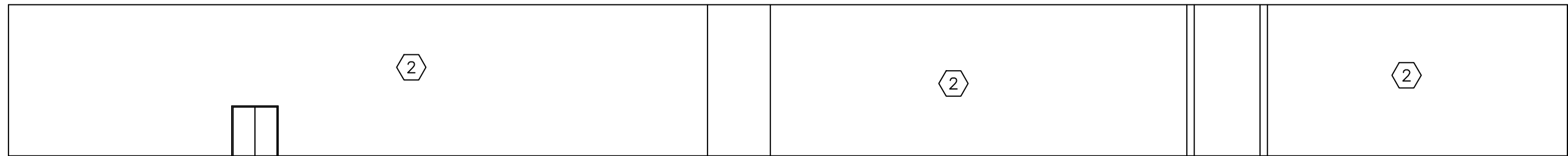
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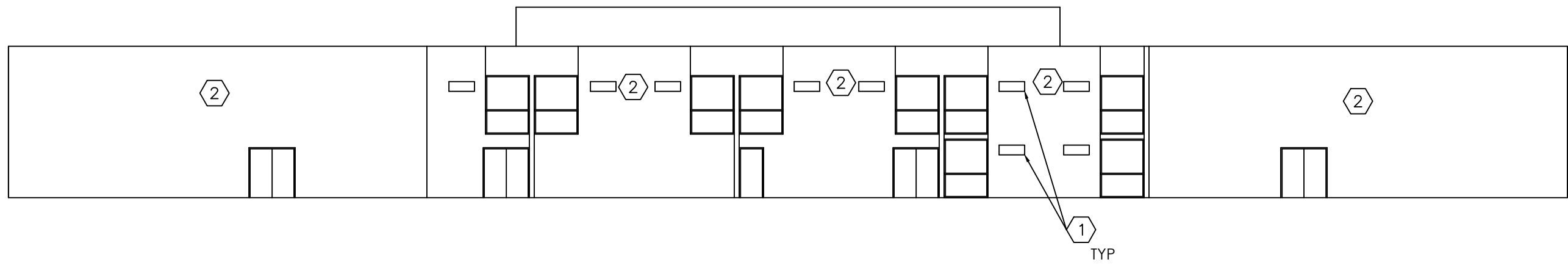
1 NORTH BUILDING ELEVATION
1/16" = 1'-0"



1 SOUTH BUILDING ELEVATION
1/16" = 1'-0"



1 EAST BUILDING ELEVATION
1/16" = 1'-0"



1 WEST BUILDING ELEVATION
1/16" = 1'-0"

KEYED NOTES

1. PTAC UNIT – (REF DETAIL B/A–1.0) SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS
2. PAINT PER OWNER
3. CLADDING PER OWNER

PROJECT HAVEN LIVING

TOWN, STATE

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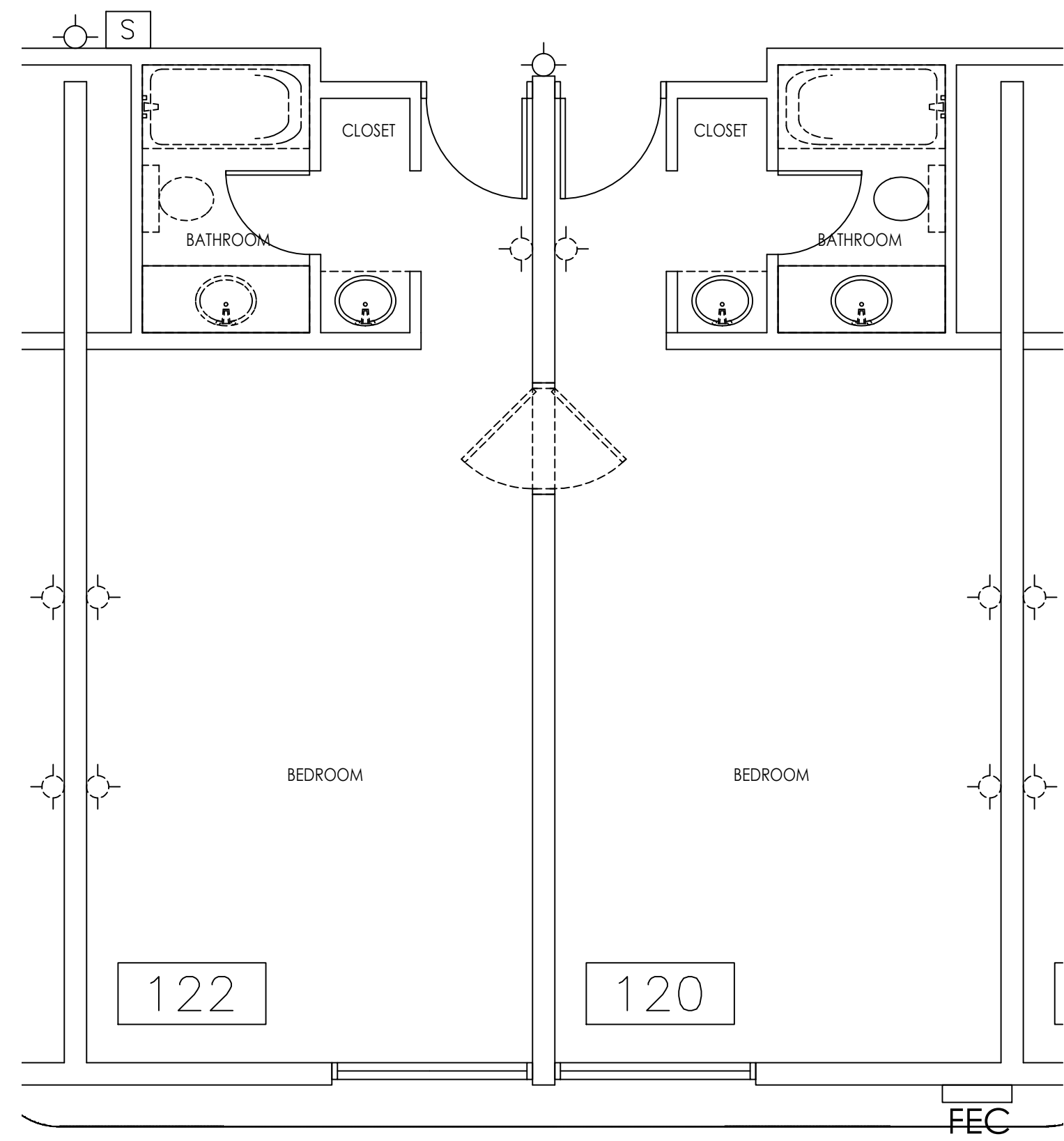
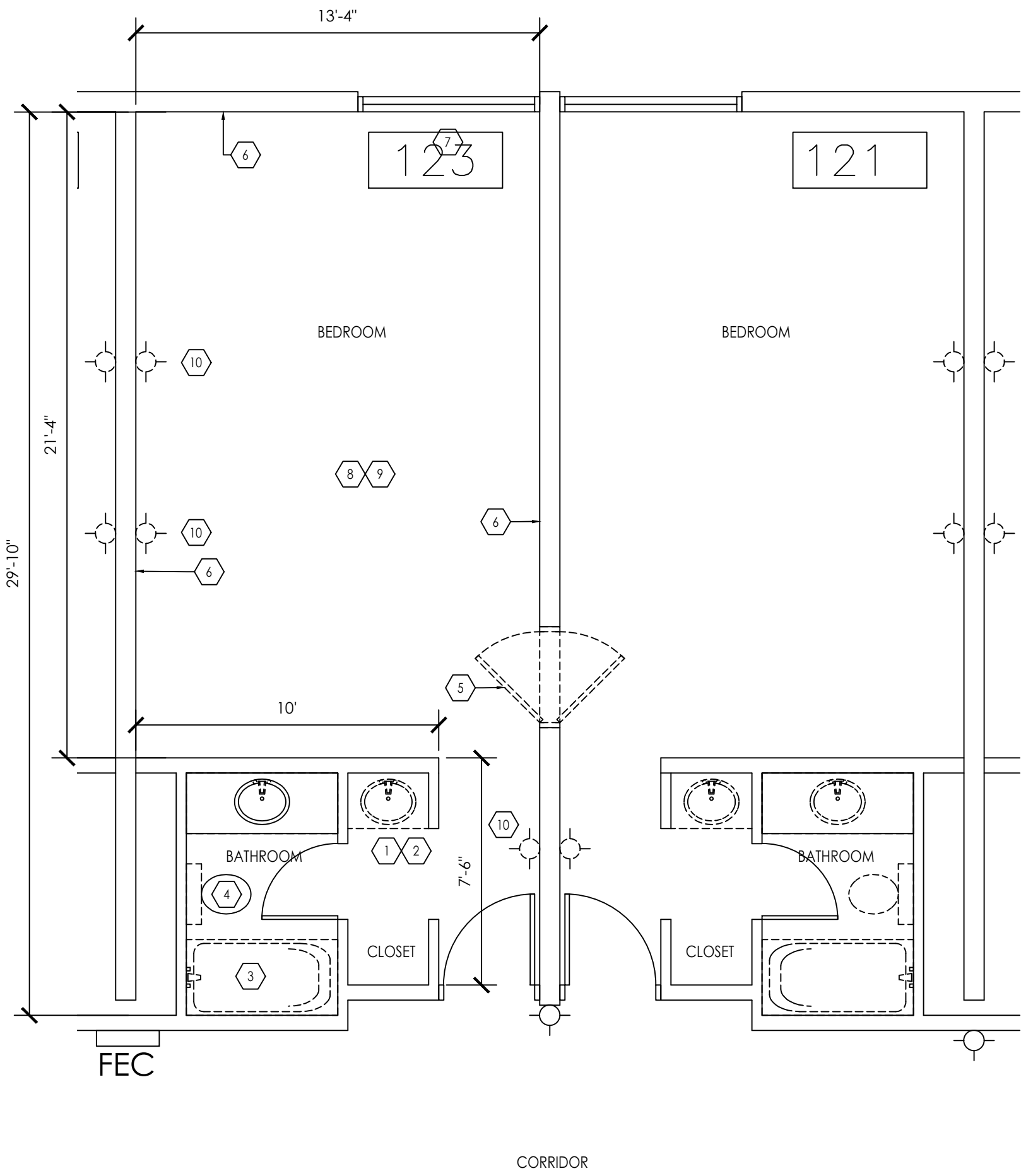
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO
F.O. STUD UNLESS OTHERWISE
NOTED.
2. HOUSE DATUM: X-X' - 0'-0"

BUILDING ELEVATIONS

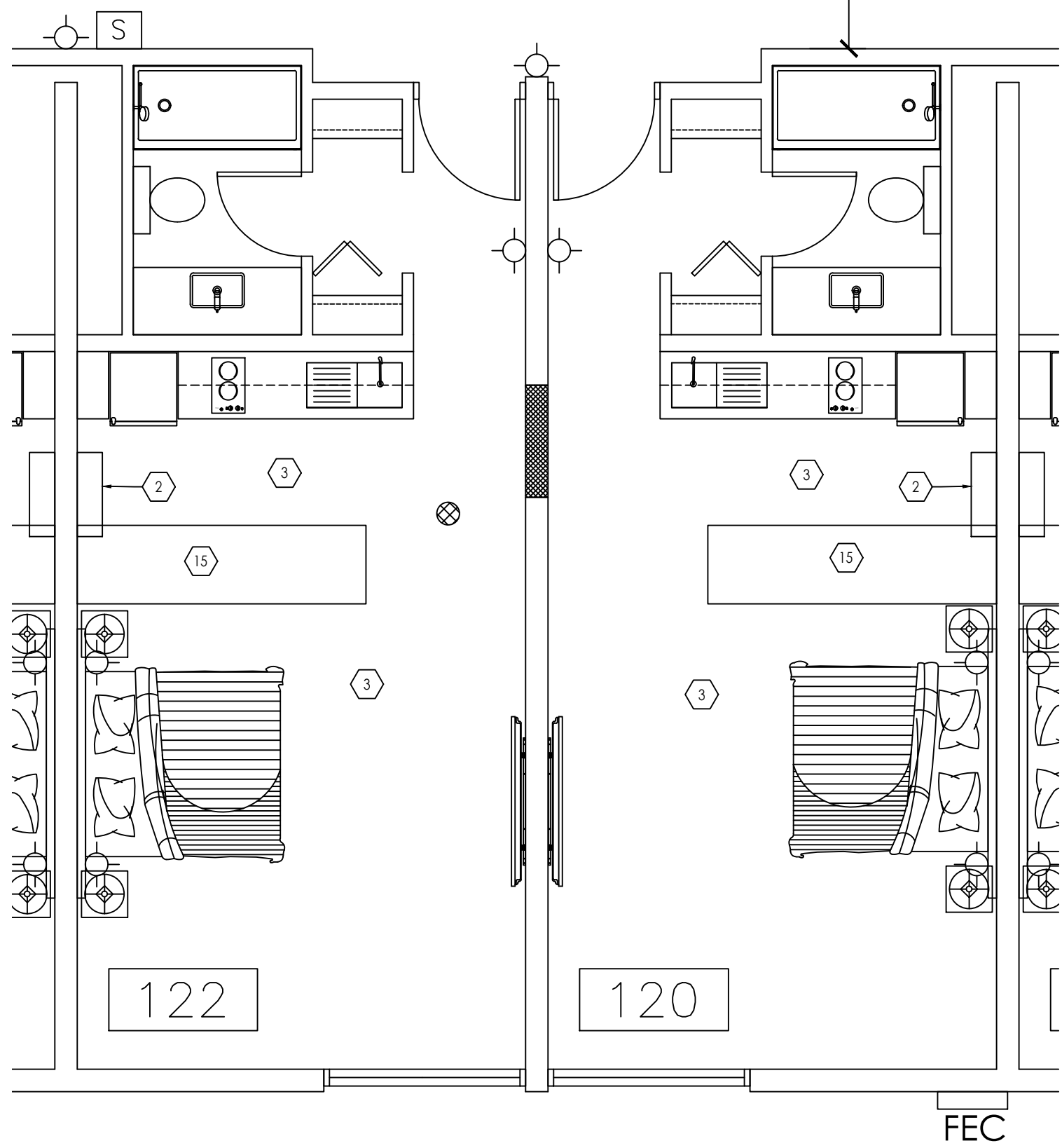
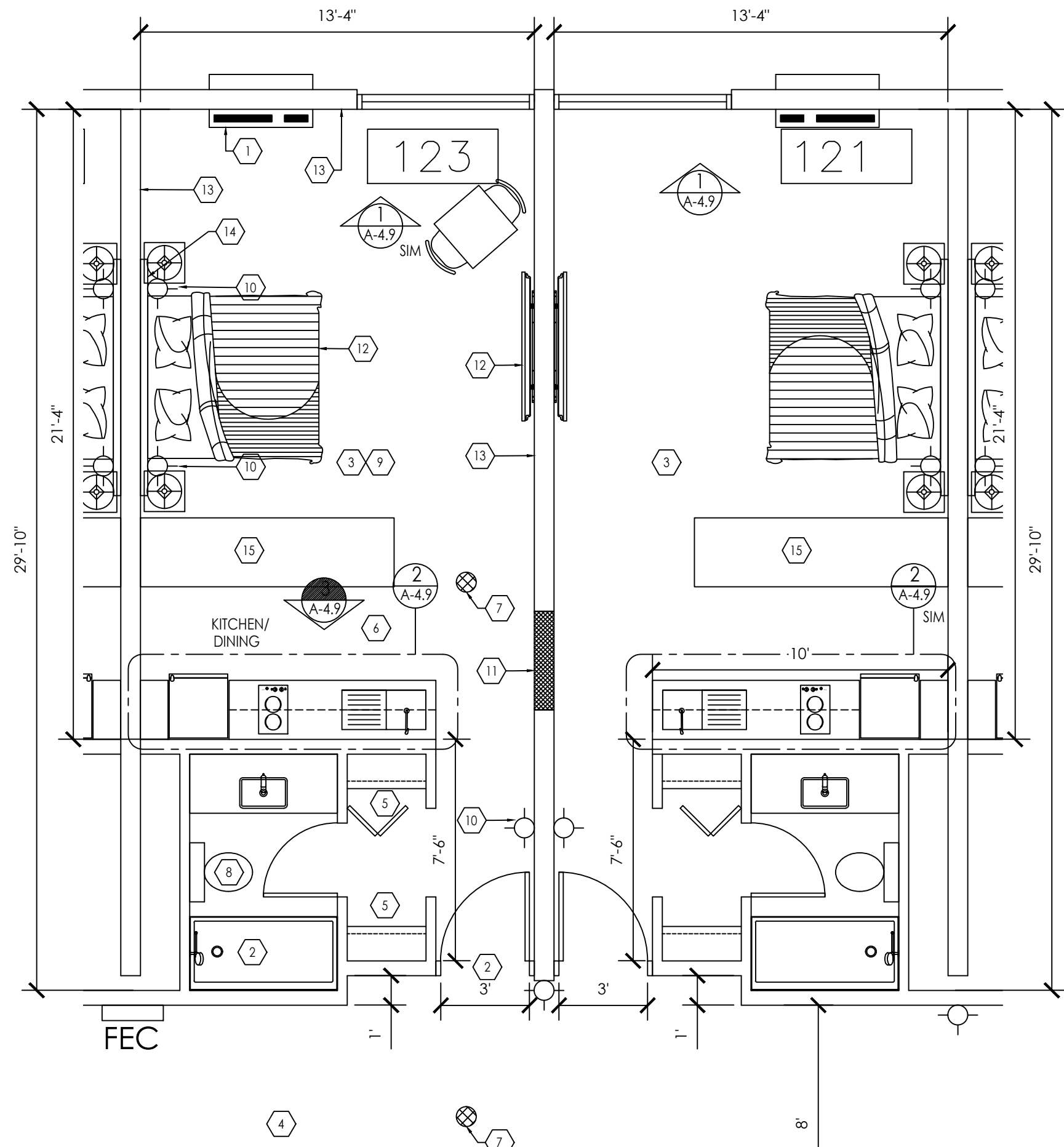
SCALE: X"-1'-0"

A2.0

DRAWN BY: YOU



1 DEMO PLAN TYPICAL UNITS
1/4" = 1'-0"



2 FLOOR PLAN TYPICAL UNITS
1/4" = 1'-0"

DEMOLITION KEYNOTES

1. REMOVE LAVATORY, VANITY, AND MIRROR, EXISTING PLUMBING TO REMAIN UNCAPPED FOR NEW KITCHEN SINK.
2. REMOVE HVAC EQUIPMENT FROM SOFFIT ABOVE VANITY. KEEP SOFFIT AND LIGHTS.
3. REMOVE TUB, TRIM, AND SHOWER COMPONENTS. LEAVE PLUMBING FOR NEW SHOWER.
4. REPAIR OR REPLACE EXISTING WATER CLOSET.
5. REMOVE COMMUNICATING DOOR.
6. REPAIR, PATCH, PREP WALLS TO BE PAINTED. REMOVE WALL BASE.
7. CLEAN AND REPAIR WINDOWS.
8. REMOVE FLOORING, PREP FOR INSTALLATION OF ENGINEERED HARDWOOD.
9. REPAIR AND PREP CEILING TO BE PAINTED.
10. REMOVE EXISTING WALL SCONCE AND PREP FOR NEW FIXTURE.

REMODEL KEYNOTES

1. NEW PTAC UNIT - (REF DETAIL 1/A-3.0) SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS. CUT OPENING AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. MINI SPLIT - SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS.
3. NEW LUXURY VINYL PLANK FLOORING AND WALL BASE PER OWNER.
4. EXISTING CARPET, CLEANED OR REPLACED AS NEEDED.
5. FINISH WALLS, ADD CLOSET ROD AND SHELF, AND INSTALL BI-FOLD DOOR AS SHOWN IN PLANS.
6. SEE KITCHEN DETAIL SHEET A
7. SMOKE/CARBON MONOXIDE DETECTOR.
8. REPLACE EXISTING WATER CLOSET WITH NEW REAR DISCHARGE WATER CLOSET.
9. PAINT CEILING PER OWNER.
10. NEW WALL SCONCE PER OWNER.
11. WALL INFILL WITH STEEL STUDS AND 5/8" TYPE-X GYP. INSTALL FLUSH, FINISH TO MATCH WALL.
12. TV AND FURNISHINGS BY TENANT. SHOWN AS EXAMPLE ONLY.
13. PREP WALL FOR PAINT. PAINT BY OWNER.
14. DECORATIVE ELECTRICAL CHASE. MOUNT SCONCE ON.
15. ROOM PARTITION FURNITURE - THREE OPTIONS. LOW CABINET OPTION SHOWN.

GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. GENERAL CONTRACTOR TO COORDINATE DEMOLITION WORK WITH PLUMBING AND ELECTRICAL CONTRACTORS.
3. PLUMBING CONTRACTOR TO CAP OFF ANY PLUMBING TO BE ABANDONED AND TIE IN NEW KITCHEN SINK TO EXISTING PLUMBING AT LAVATORIES.
4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.
5. HALLWAY CARPET TO BE REPLACED, WALLS AND CEILINGS CLEANED, PAINTED OR REPAIRED AS NEEDED.

PROJECT HAVEN LIVING

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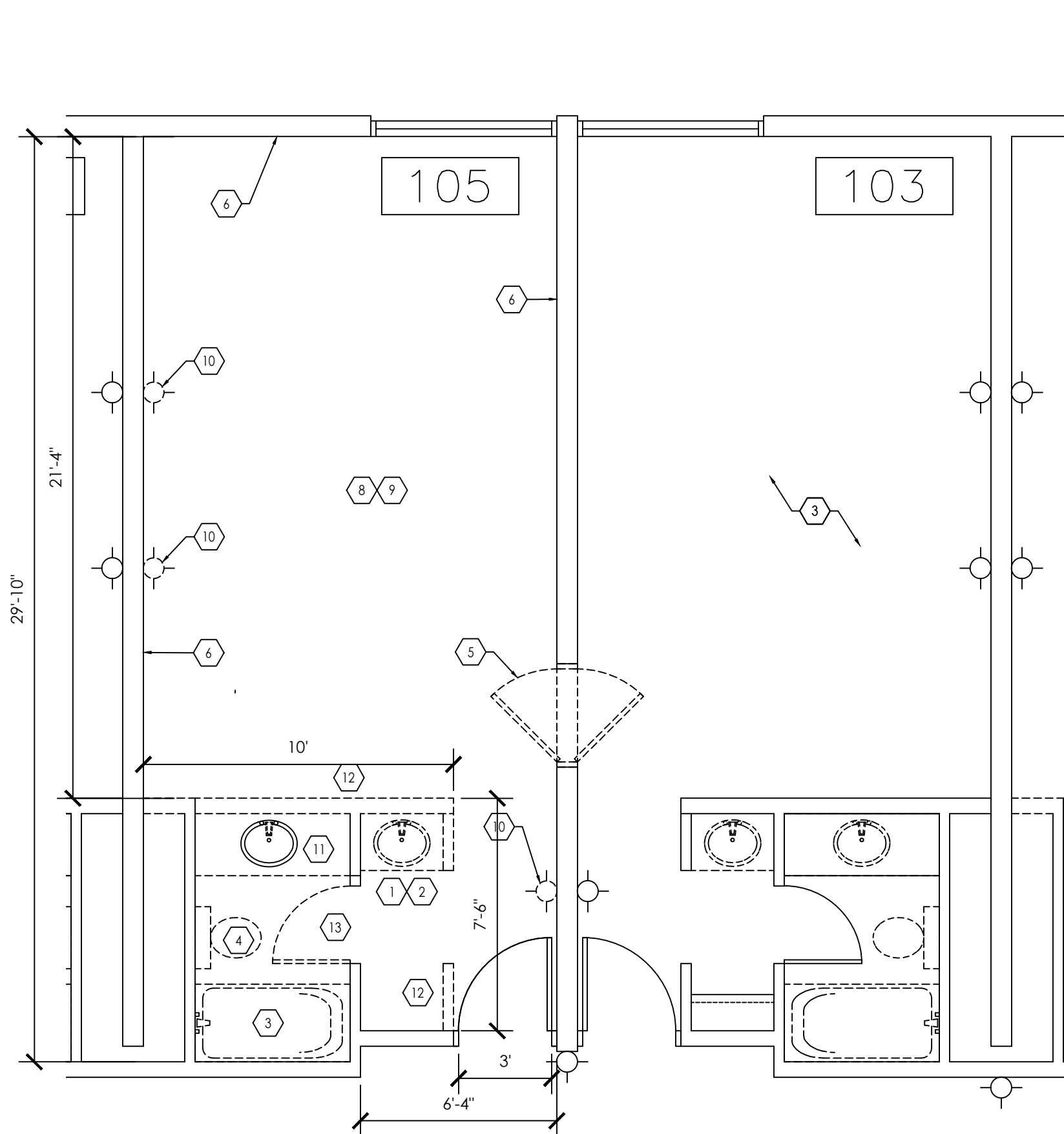
NOTES:
1.

ENLARGED PLANS TYPICAL RESIDENTIAL UNIT

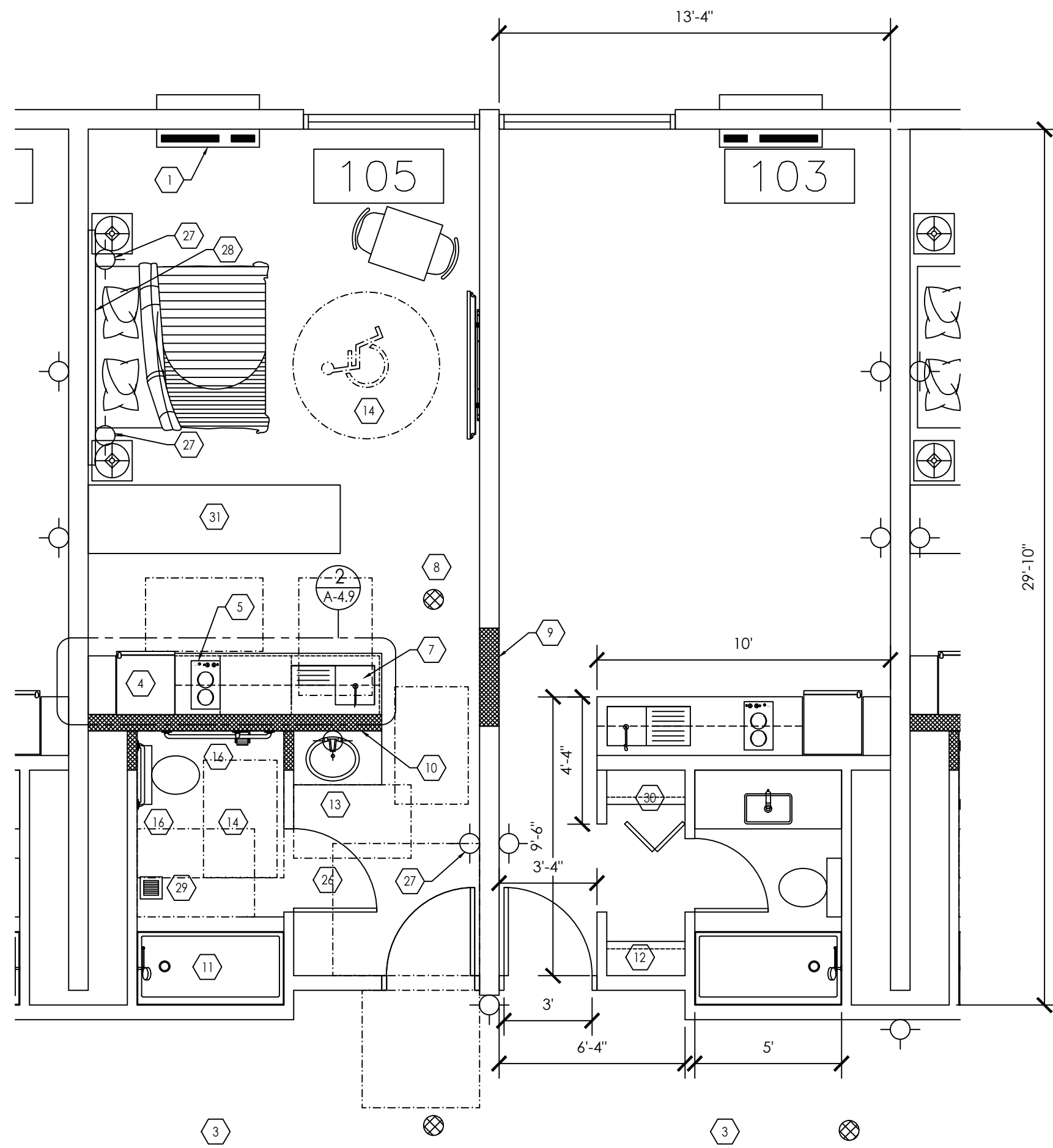
SCALE: 1/4" = 1'-0"

A4.0

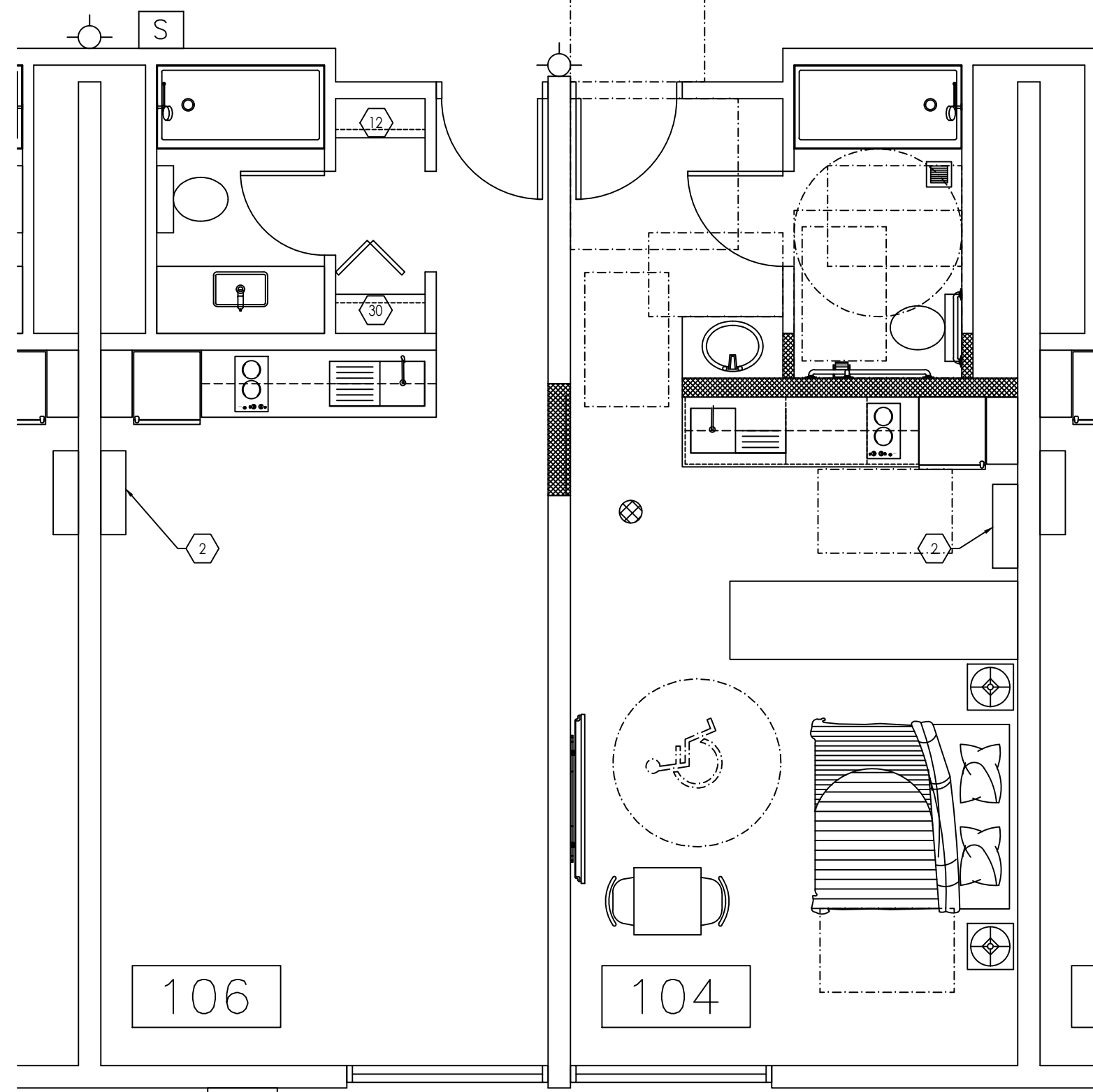
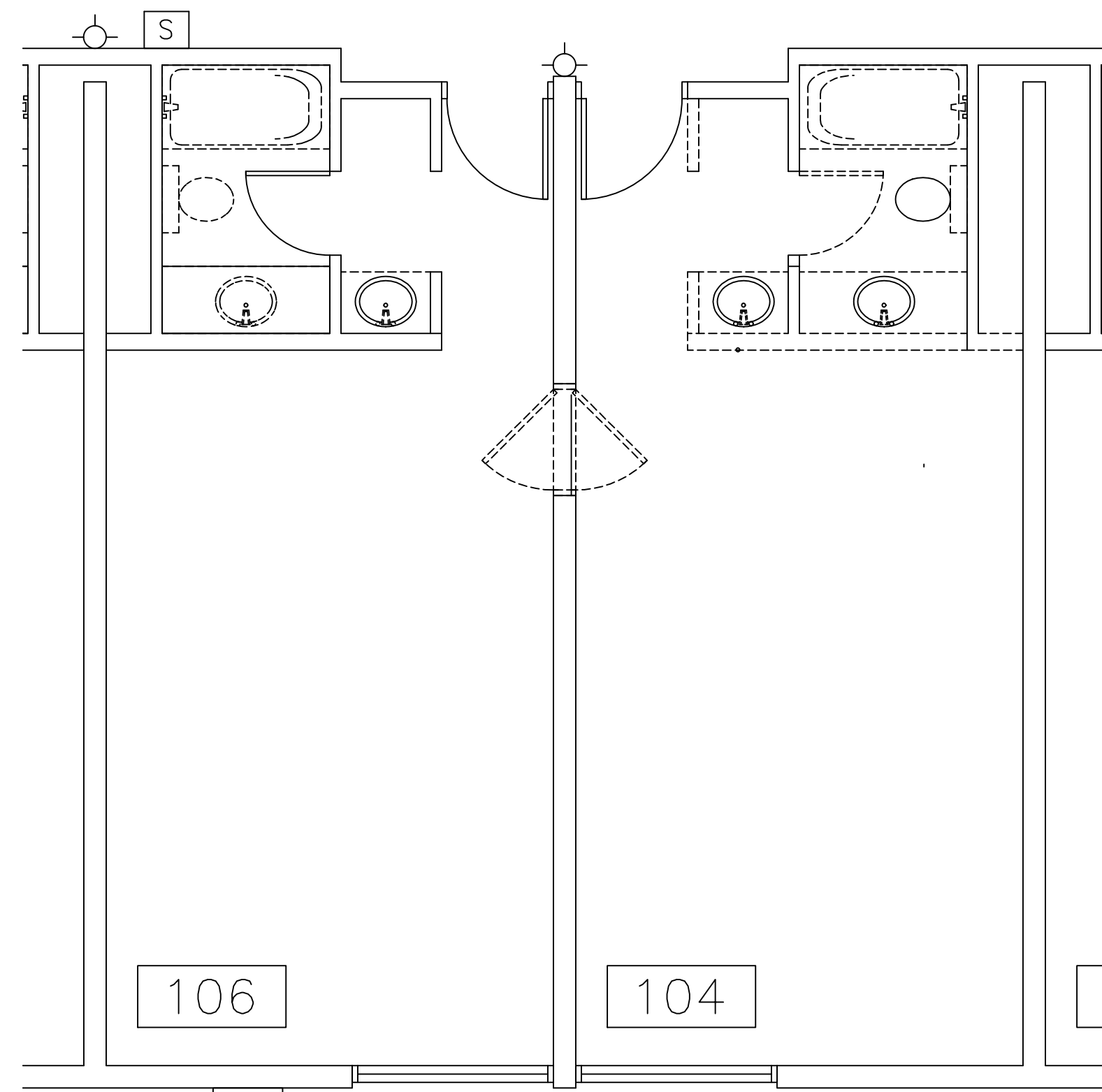
DRAWN BY: YOU



1 DEMO PLAN TYPE A UNITS
1/4" = 1'-0"



2 FLOOR PLAN TYPE A UNITS
1/4" = 1'-0"



GENERAL NOTES

- INTERIOR AND EXTERIOR WALLS TO BE PATCH, REPAIR, AND PREP TO RECEIVE FRESH PAINT.
- PREP TO RECEIVE NEW FIXTURES, APPLIANCES, AND CASEWORK.
- FURNITURE AND WALL MOUNTED FLAT SCREEN TV, INSTALLED BY TENANT.
- ACCESSIBLE UNITS, LOCATION REF SHEET A-1.0 UNITS 102,103,106
- TYPE A UNITS SHALL COMPLY WITH SECTION 1001 GENERAL AND 1003 TYPE A UNITS.
- PRIMARY ENTRANCE SHALL COMPLY WITH SECTION 404.
- ACCESSIBLE ROUTE IN TYPE A UNITS SHALL COMPLY WITH SECTION 1003.3.
- ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A TURNING SPACE COMPLYING WITH SECTION 304.
- THE PRIMARY ENTRANCE DOOR TO THE UNIT AND ALL OTHER DOORWAYS INTENDED FOR USER PASSAGE SHALL COMPLY WITH SECTION 1003.5. AND EXCEPTIONS 1 THRU 6.
- TOILET/BATHING ROOM WITH GRAB BARS, ACCESSIBLE LAVATORY, ACCESSIBLE TUB OR ACCESSIBLE SHOWER SHALL COMPLY WITH SECTION 1003.11 THRU 1003.11.2.5.2.
- ACCESSIBLE LAVATORY SHALL COMPLY WITH SECTION 1003.11.2.2, WHITE CULTURE MARBLE COUNTERTOP WITH INTEGRAL LAVATORY, BY, G.C., INSTALLED BY G.C., REF: PLUMBING PLANS.
- 30" X 48" CLEAR FLOOR SPACE SHALL COMPLY WITH SECTION 305.3.
- ACCESSIBLE WATER CLOSET SHALL COMPLY WITH SECTION 1003.11.2.4, REF: PLUMBING PLANS.
- GRAB BARS AT ACCESSIBLE WATER CLOSET SHALL COMPLY WITH SECTION 604.5.
- MIRRORS ABOVE ACCESSIBLE LAVATORY SHALL COMPLY WITH SECTION 1003.11.2.3.
- KITCHENS AND KITCHENETTES SHALL COMPLY WITH SECTION 1003.12 THRU 1003.12.5.5.4.
- WORK SURFACE WITH KNEE SPACE SHALL COMPLY WITH SECTION 1003.12.3 AND 1003.12.3.1. WORK SURFACE WITH A 30" X 48" CLEAR FLOOR SPACE.
- BEDS SHALL COMPLY WITH SECTION 1002.15.

DEMOLITION KEYNOTES

- REMOVE LAVATORY, VANITY, AND MIRROR, EXISTING PLUMBING TO REMAIN UNCAPPED FOR NEW KITCHEN SINK.
- REMOVE HVAC EQUIPMENT FROM SOFFIT ABOVE VANITY. KEEP SOFFIT AND LIGHTS.
- REMOVE TUB, TRIM, AND SHOWER COMPONENTS. LEAVE PLUMBING FOR NEW SHOWER.
- REPAIR OR REPLACE EXISTING WATER CLOSET.
- REMOVE COMMUNICATING DOOR.
- REPAIR, PATCH, PREP WALLS TO BE PAINTED. REMOVE WALL BASE.
- CLEAN AND REPAIR WINDOWS.
- REMOVE FLOORING, PREP FOR INSTALLATION OF ENGINEERED HARDWOOD.
- REPAIR AND PREP CEILING TO BE PAINTED.
- REMOVE EXISTING WALL SCONCE AND PREP FOR NEW FIXTURE.
- REMOVE EXISTING LAVATORY, COUNTER, MIRROR, AND LIGHTS.
- REMOVE PORTION OF EXISTING WALL TO EXPAND BATHROOM FOR ACCESSIBLE ACCESS.
- REMOVE EXISTING DOOR TO MAKE ROOM FOR NEW ACCESSIBLE DOOR.

REMODEL KEY NOTES

- PTAC UNIT - (REF DETAIL 1/A-3.0) SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS
- MINI SPLIT - SEE 1ST & 2ND FLOOR PLAN FOR UNIT LOCATIONS
- EXISTING CARPET, CLEANED OR REPLACED AS NEEDED.
- REFRIGERATOR PER AMATO DESIGN-FRIGIDAIRE MODEL FFET1022U
- TWO BURNER COOKTOP PER AMATO DESIGN-SUMMIT MODEL CR220B
- MICROWAVE PER AMATO DESIGN-FRIGIDAIRE MODEL FGMV155CT
- SINGLE BOWL 2-HOLE WORKSTATION KITCHEN SINK.
- SMOKE/CARBON MONOXIDE DETECTOR.
- INSTALL STEEL STUDS AND 8 TYPE-X GYP TO CLOSE OPENING. MATCH EXISTING. PAINT AND TEXTURE TO MATCH EXISTING.NEW 3-5/8", 18 GA. METAL FRAMING WALL AT 16" O.C. TO BOTTOM OF ROOF OR BEAM.
- NEW 5-5/8", 18 GA. METAL FRAMING WALL AT 16" O.C. TO BOTTOM OF ROOF OR BEAM (WITH BLOCKING FOR HAND BARS).
- NEW ACCESSIBLE SHOWER WITH HAND BARS.
- NEW LINEN CLOSET.
- NEW ACCESSIBLE LAVATORY
- ALL ROOMS SERVED BY AN ACCESSIBLE ROUTE SHALL PROVIDE A TURNING SPACE COMPLYING WITH SECTION 304.
- 30" X 48" CLEAR FLOOR SPACE SHALL COMPLY WITH SECTION 305.3.
- GRAB BARS AT ACCESSIBLE WATER CLOSET
- 60" WIDTH X 56" DEPTH CLEARANCE AT ACCESSIBLE W.C. SHALL COMPLY WITH SECTION 1003.11.2.4.2 AND 1003.11.2.4.3 AND CLEARANCE OVERLAP PER SECTION 1003.11.2.4.4 AND EXCEPTION FOR LAVATORY.
- 30" X 60" CLEARANCE AT SHOWER
- FRONT APPROACH TO DOOR (PUSH SIDE)
- FRONT APPROACH TO DOOR (PULL SIDE)
- (1) WORK SURFACE WITH KNEE SPACE SHALL COMPLY WITH SECTION 1003.12.3 AND 1003.12.3.1. WORK SURFACE WITH A 30" X 48" CLEAR FLOOR SPACE, REF DETAIL 2/A-4.0.
- RANGE WITH A 30" X 48" CLEAR FLOOR SPACE.
- REFRIGERATOR WITH A PARALLEL APPROACH 30" X 48" CLEAR FLOOR SPACE. THE CENTER LINE OF THE CLEAR FLOOR SPACE SHALL BE OFFSET 24" MAX. FROM THE CENTERLINE OF THE APPLIANCE.
- SINK WITH A 30"x48" CLEAR FLOOR SPACE.
- A CLEAR FLOOR SPACE OF 30" X 48" SHALL BE PROVIDED ON BOTH SIDE OF THE BED COMPLYING WITH SECTION 1002.15.1.
- NEW ACCESSIBLE DOOR
- NEW WALL SCONCES PER OWNER.
- NEW DECORATIVE ELECTRICAL CHASE.
- REPAIR EXISTING BATHROOM FAN OR PROVIDE NEW FAN.
- NEW BI-BOLD DOOR, SHELF AND ROD.
- NEW ROOM PARTITION FURNITURE. THREE OPTIONS. LOW MOVEABLE CABINET OPTION SHOWN.

PROJECT HAVEN LIVING

TOWN, STATE

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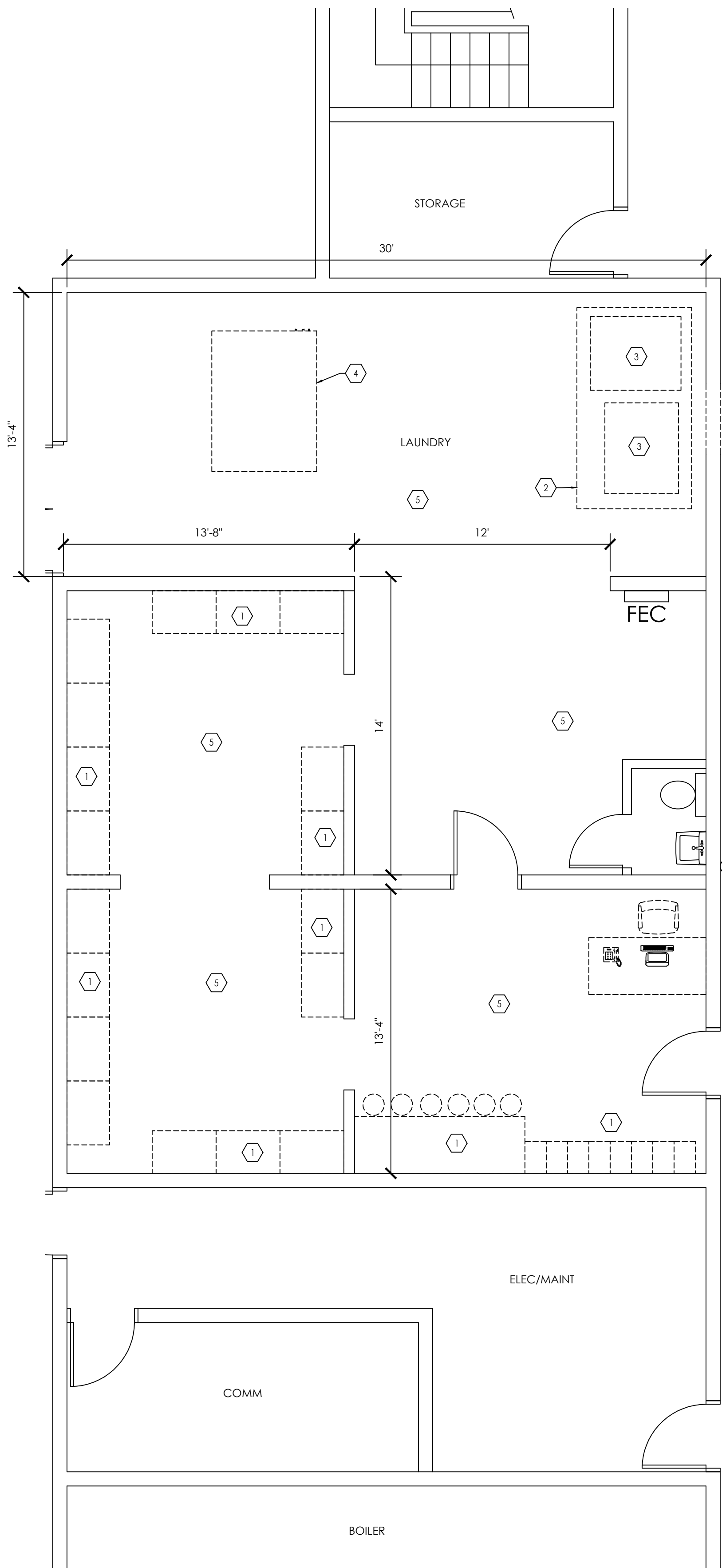
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X-X' - 0'-0"

ENLARGED PLAN - TYPE A UNIT

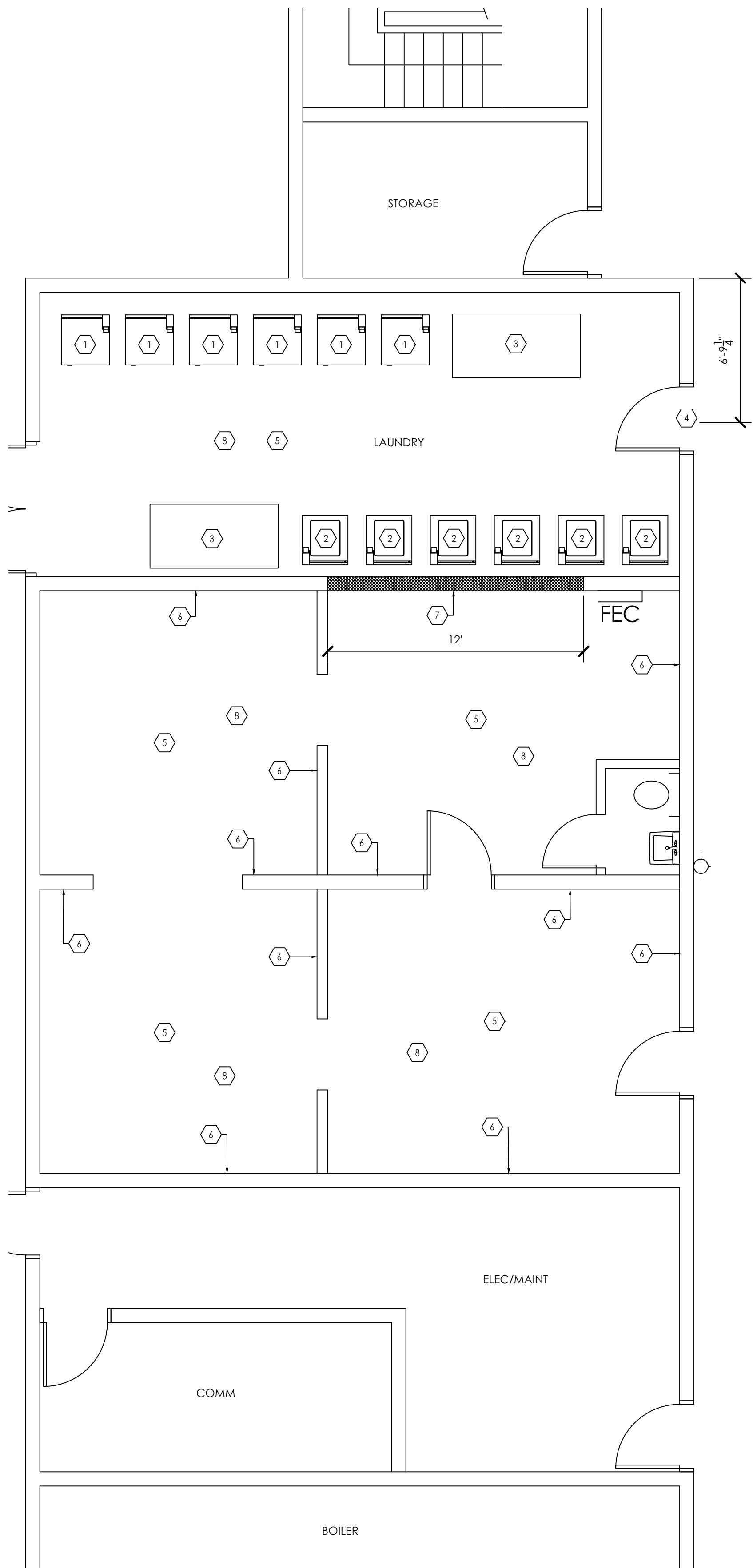
SCALE: X"-1'-0"

DRAWN BY: YOU

A4.1



1 DEMO PLAN LAUNDRY
1/4" = 1'-0"



2 FLOOR PLAN LAUNDRY
1/4" = 1'-0"

GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. GENERAL CONTRACTOR TO COORDINATE DEMOLITION WORK WITH PLUMBING AND ELECTRICAL CONTRACTORS.
3. PLUMBING CONTRACTOR TO CAP OFF ANY PLUMBING TO BE ABANDONED AND TIE IN NEW KITCHEN SINK TO EXISTING PLUMBING AT LAVATORIES.
4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.
5. HALLWAY CARPET TO BE REPLACE, WALLS AND CEILINGS CLEANED, PAINTED OR REPAIRED AS NEEDED.
6. NO WORK TO BE DONE IN HALLWAYS OR GENERAL PUBLIC AREAS.

DEMOLITION KEY NOTES

1. REMOVE EXISTING SHELVING IN LAUNDRY AREA.
2. REMOVE CONCRETE PAD AND LEVEL TO MATCH ADJACENT FLOOR.
3. REMOVE EXISTING COMMERCIAL WASHING MACHINES.
4. REMOVE EXISTING COMMERCIAL DRYER.
5. REMOVE EXISTING FLOORING AND WALL BASE.

REMODEL KEY NOTES

- 1.INSTALL RESIDENTIAL STYLE DRYERS BY VENDOR SELECTED BY OWNER.
- 2.INSTALL RESIDENTIAL STYLE WASHERS BY VENDOR SELECTED BY OWNER.
- 3.INSTALL TABLES FOR LAUNDRY FOLDING.
- 4.NEW DOOR. DOOR CLEARANCE, THRESHOLD, AND HARDWARE TO MEET 2010 ADA REQUIREMENTS.
- 5.INSTALL NEW FLOORING PER OWNER.
- 6.PATCH, REPAIR, PAINT ALL WALLS AND CEILINGS PER OWNER.
- 7.STEEL STUD WALL INFILL. INSTALL FLUSH WITH EXISTING WALL. PAINT AND TEXTURE TO MATCH EXISTING ROOM.
- 8.INSTALL NEW LED LIGHTING.

PROJECT
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TOWN, STATE

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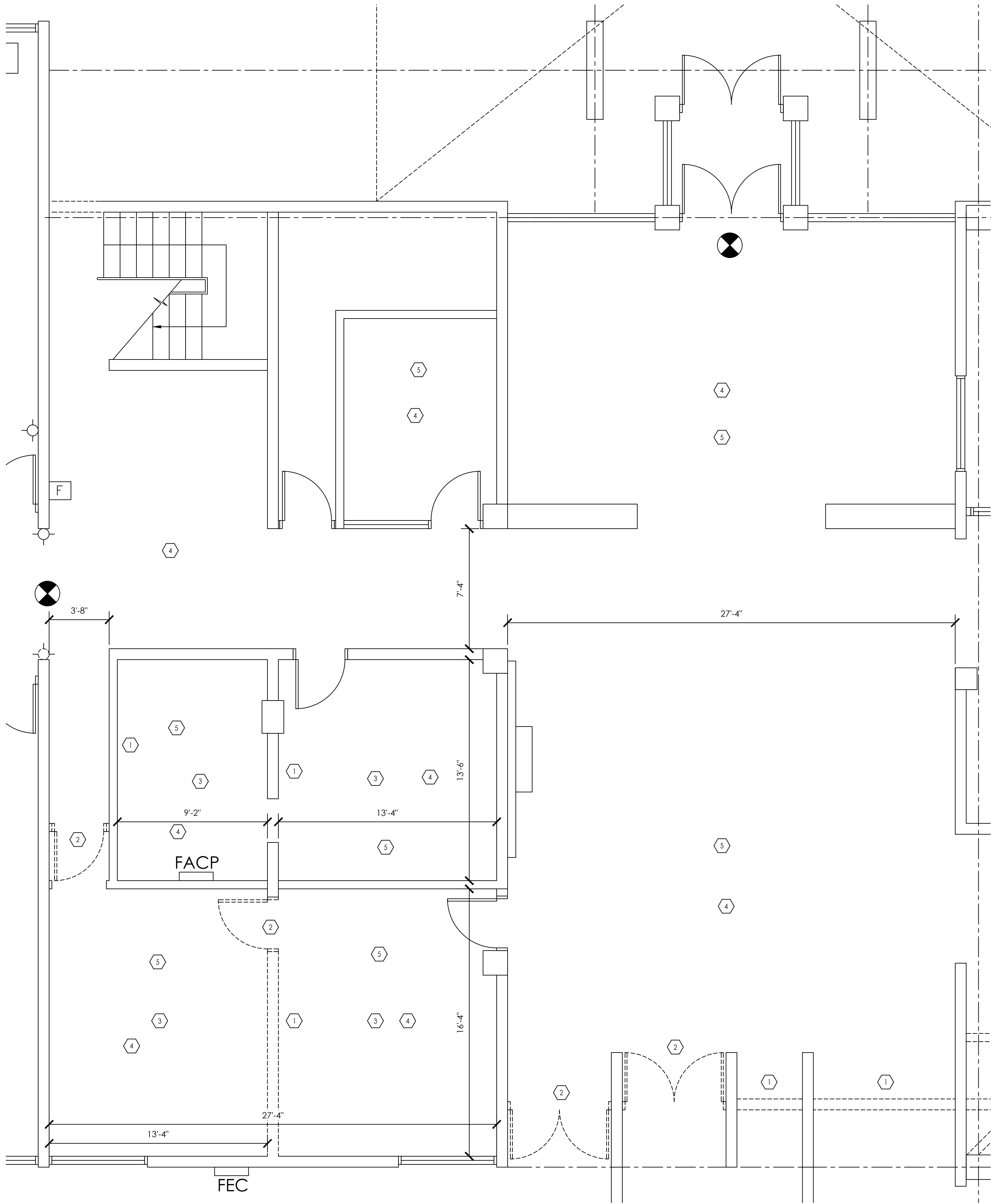
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO
F.O. STUD UNLESS OTHERWISE
NOTED.
2. HOUSE DATUM: X-X' - 0'-0"

ENLARGED
PLAN -
LAUNDRY

SCALE: X"=1'-0"

A4.2

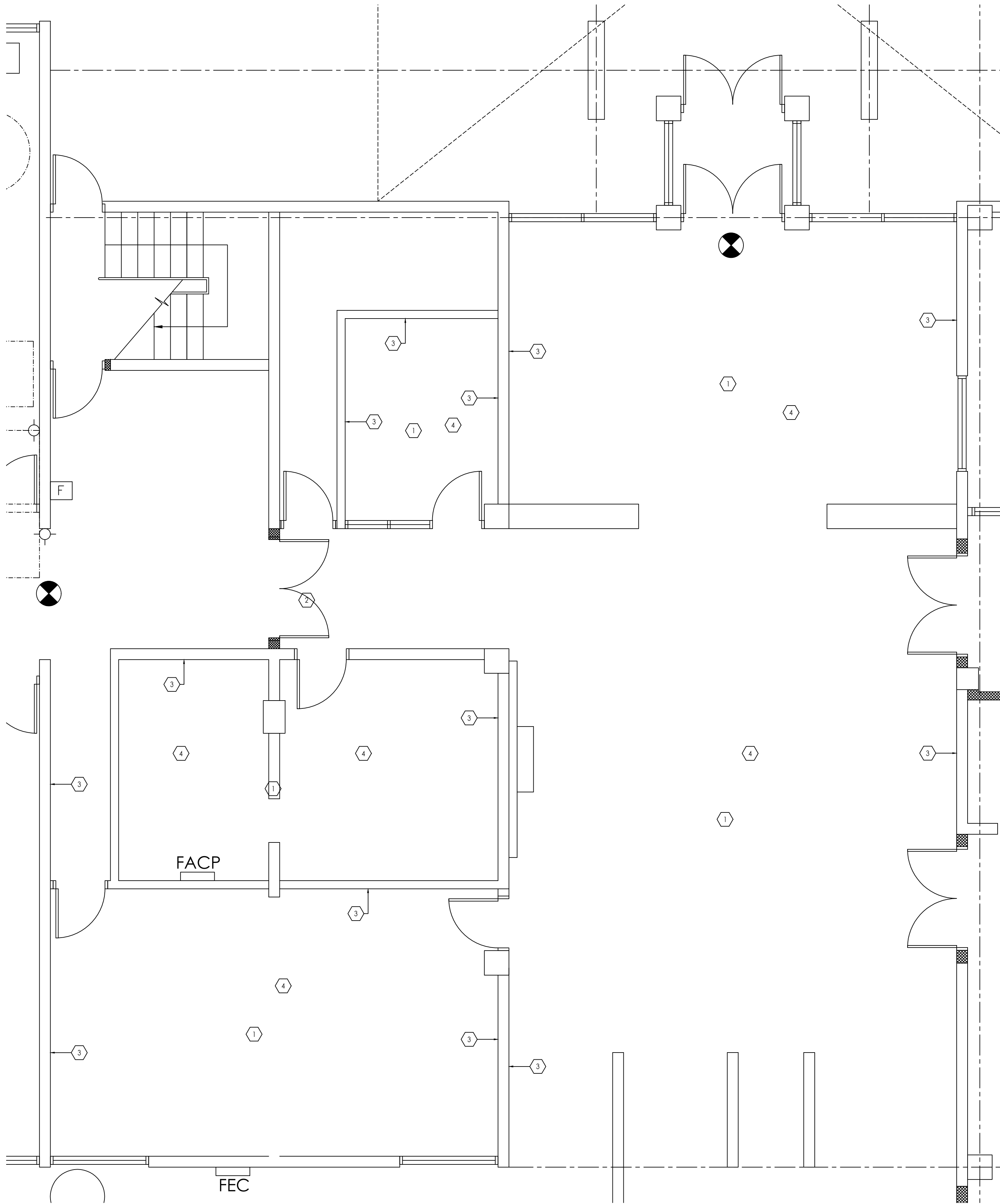
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1 DEMO PLAN LOBBY AND OFFICES
1/4" = 1'-0"

DEMOLITION KEYNOTES

1. REMOVE EXISTING WALL
2. REMOVE EXISTING DOOR
3. REMOVE SUSPENDED CEILING
4. REMOVE FLOORING AND PREP FOR NEW FLOORING.
5. REMOVE EXISTING FLUORESCENT LIGHT FIXTURES AND PREP FOR NEW LED FIXTURES.



2 FLOOR PLAN LOBBY AND OFFICES
1/4" = 1'-0"

REMODEL KEYNOTES

1. NEW LUXURY VINYL PLANK FLOORING AND WALL BASE PER OWNER.
2. EXISTING CARPET, CLEANED OR REPLACED AS NEEDED.
3. PAINT WALLS AND ADD CLADDING PER OWNER.
4. INSTALL NEW LED LIGHTING WHERE EXISTING FLUORESCENT LIGHT FIXTURES WERE REMOVED.

GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
2. GENERAL CONTRACTOR TO COORDINATE DEMOLITION WORK WITH PLUMBING AND ELECTRICAL CONTRACTORS.
3. PLUMBING CONTRACTOR TO CAP OFF ANY PLUMBING TO BE ABANDONED AND TIE IN NEW KITCHEN SINK TO EXISTING PLUMBING AT LAVATORIES.
4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.
5. HALLWAY CARPET TO BE REPLACE, WALLS AND CEILINGS CLEANED, PAINTED OR REPAIRED AS NEEDED.
6. NO WORK TO BE DONE IN HALLWAYS OR GENERAL PUBLIC AREAS.

PROJECT HAVEN LIVING

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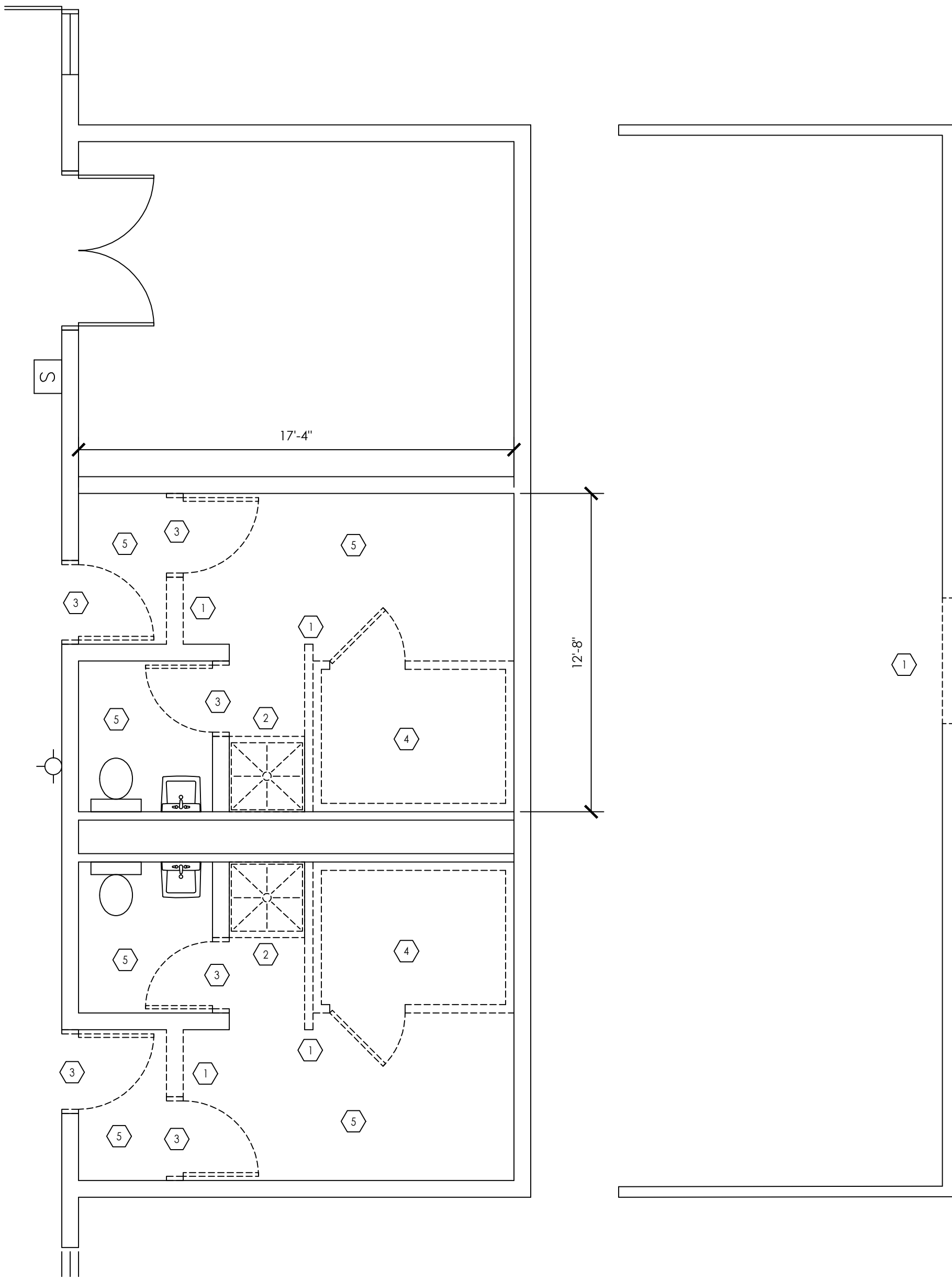
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO
F.A. STUD UNLESS OTHERWISE
NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

ENLARGED PLAN - LOBBY

SCALE: X"=1'-0"

A4.3

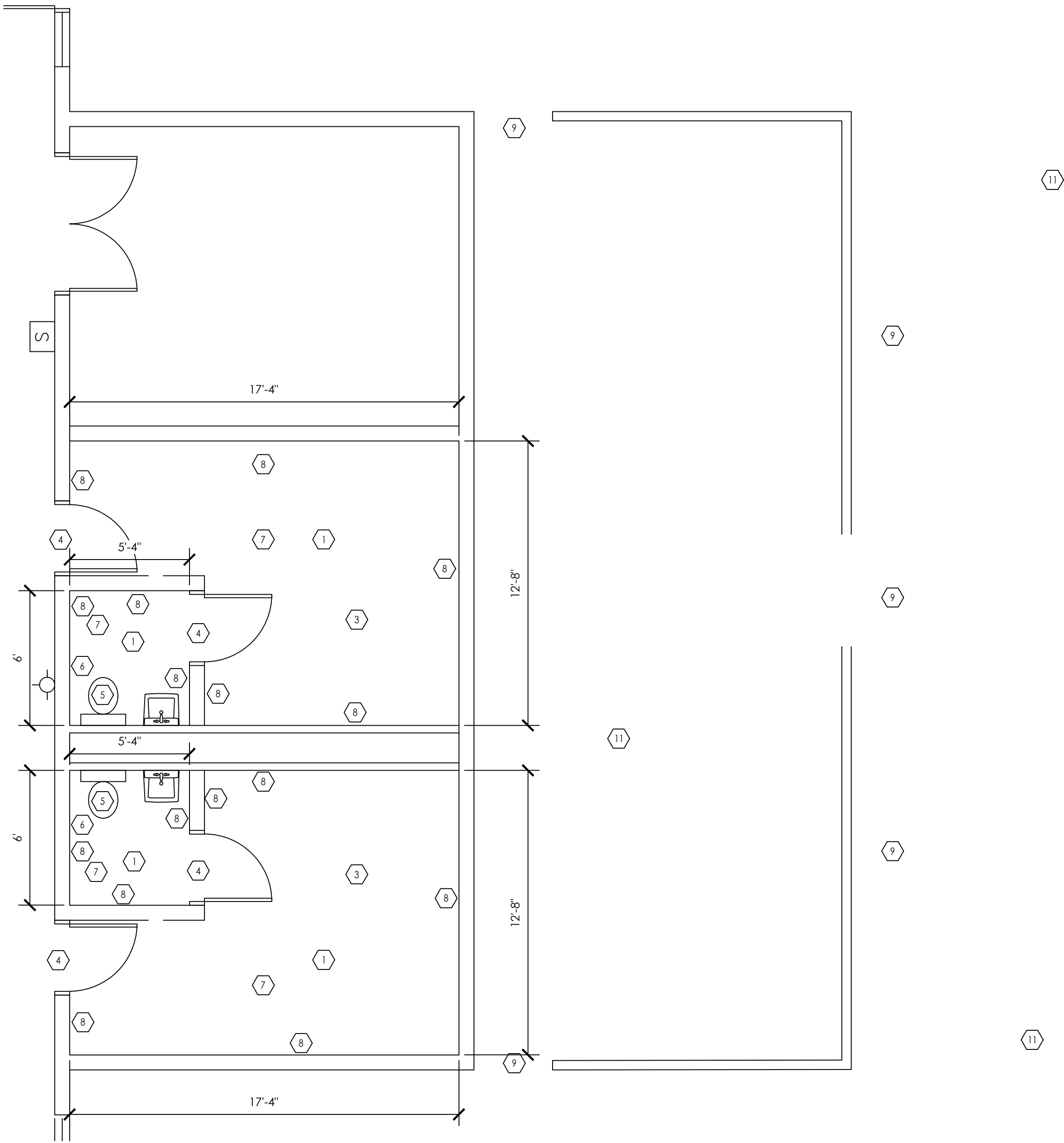
DRAWN BY: YOU



1 DEMO PLAN POOL CHANGING AREA
1/4" = 1'-0"

DEMOLITION KEY NOTES

1. REMOVE EXISTING WALL
2. REMOVE EXISTING SHOWER
3. REMOVE EXISTING DOOR
4. REMOVE EXISTING SAUNA
5. REMOVE EXISTING FLOORING AND WALL BASE. PREP FOR NEW FLOORING.



2 FLOOR PLAN POOL CHANGING AREA
1/4" = 1'-0"

REMODEL KEY NOTES

1. INSTALL NEW TILE FLOORING PER OWNER.
2. N/A
3. INSTALL FLOOR DRAINS
4. INSTALL NEW ADA DOOR
5. INSTALL NEW ADA TOILET
6. INSTALL GRAB BARS PER ADA
7. PAINT CEILING
8. FINISH WALLS PER OWNER.
9. INSTALL ADA RAMP AND RAILING FOR ACCESS TO POOL DECK
10. ENSURE OPENINGS MEET ADA CLEARANCES. INSTALL ADA GATE FOR ACCESS TO POOL.
11. NEW FLOORING BY OWNER.

GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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3. PLUMBING CONTRACTOR TO CAP OFF ANY PLUMBING TO BE ABANDONED AND TIE IN NEW KITCHEN SINK TO EXISTING PLUMBING AT LAVATORIES.
4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.
5. HALLWAY CARPET TO BE REPLACE, WALLS AND CEILINGS CLEANED, PAINTED OR REPAIRED AS NEEDED.
6. NO WORK TO BE DONE IN HALLWAYS OR GENERAL PUBLIC AREAS.

PROJECT HAVEN LIVING

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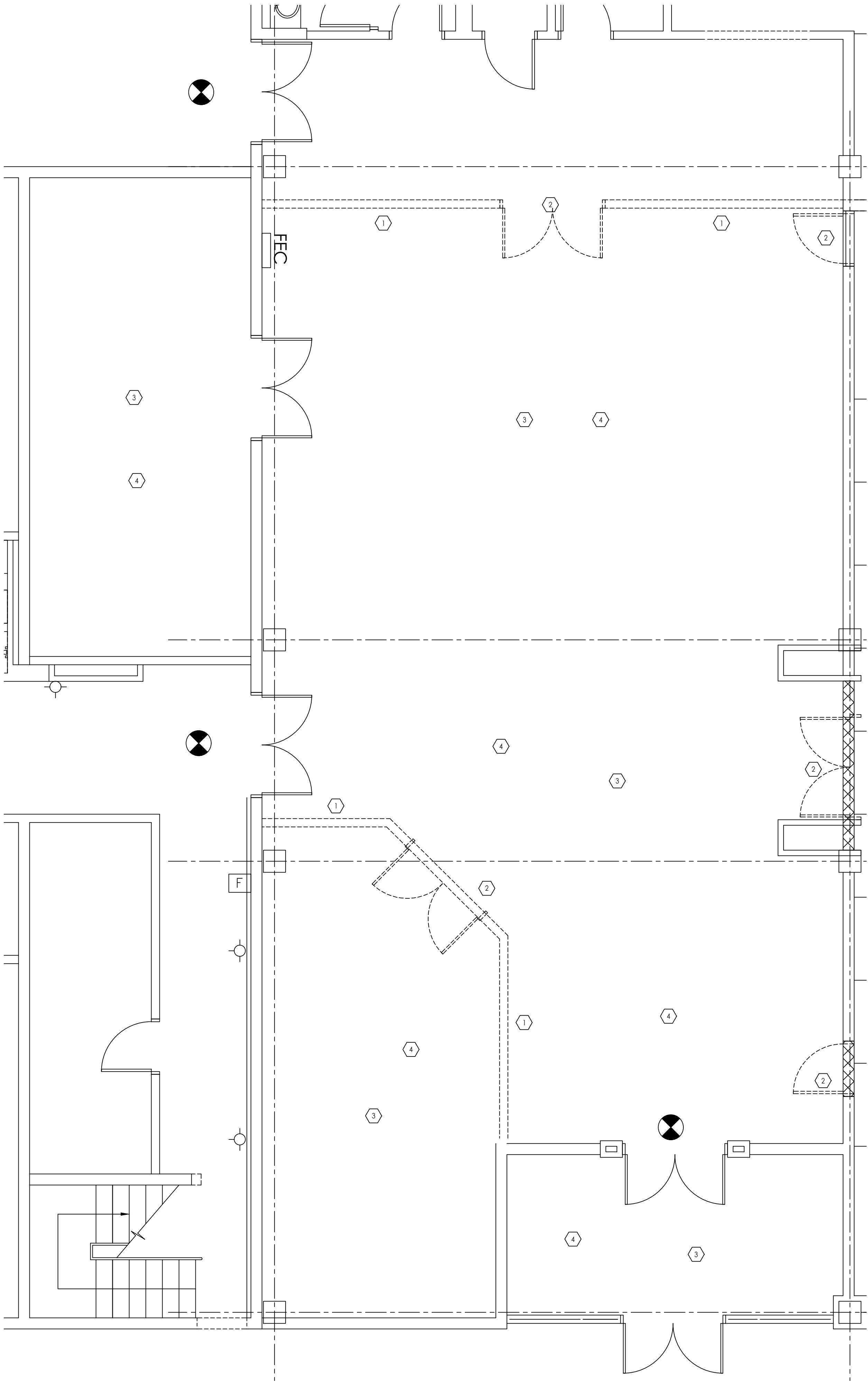
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

ENLARGED PLAN - POOL CHANGING AREA

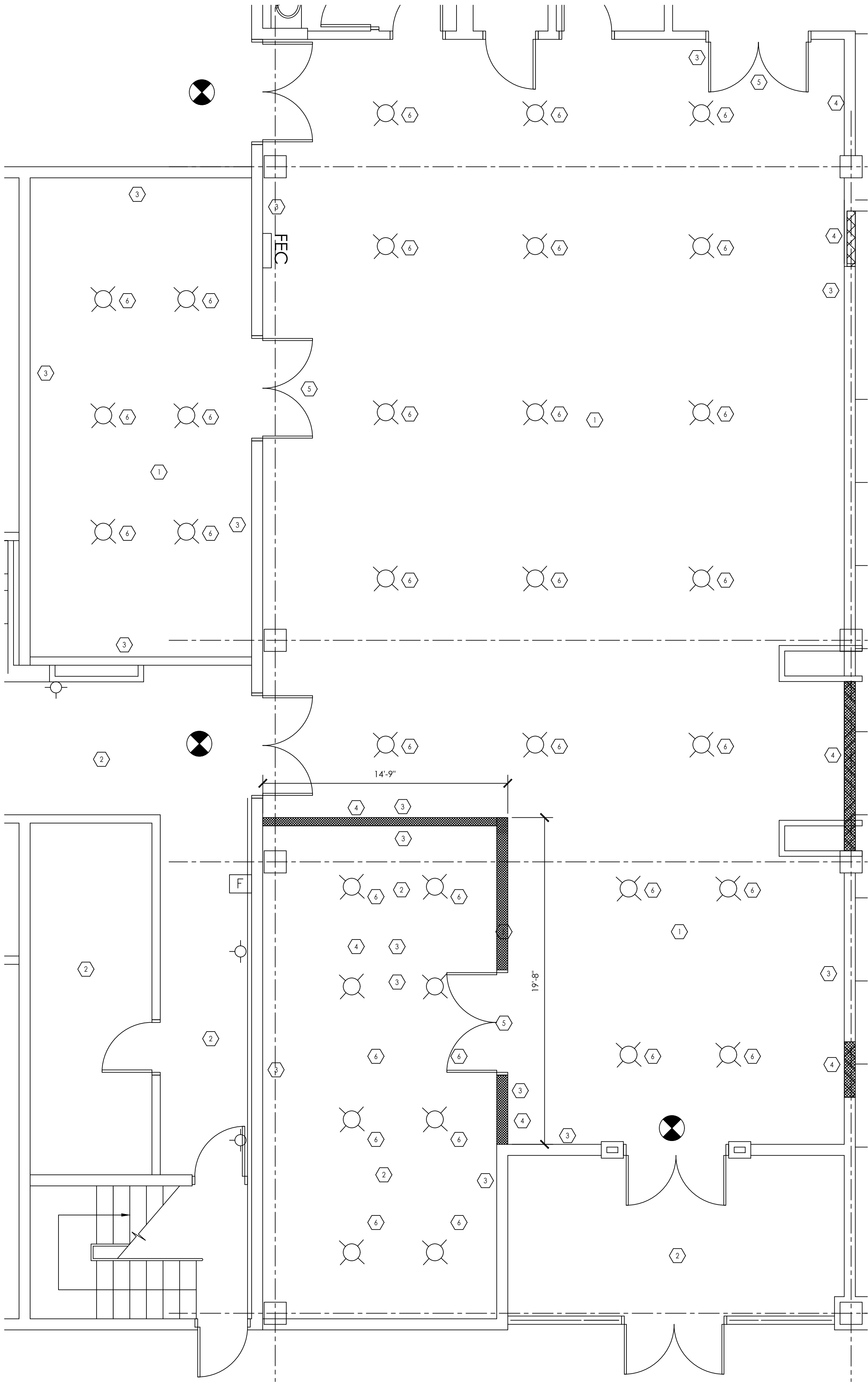
SCALE: X"=1'-0"

A4.4

DRAWN BY: YOU



1 EXISTING & DEMO PLAN FITNESS AREA
1/4" = 1'-0"



2 FLOOR PLAN FITNESS AREA
1/4" = 1'-0"

DEMOLITION KEY NOTES

- 1. REMOVE EXISTING WALL
- 2. REMOVE EXISTING DOOR
- 3. PREP FLOOR FOR NEW FLOORING
- 4. REPAIR AND PREP WALLS AND CEILING FOR PAINT AS NEEDED.

REMODEL KEY NOTES

- 1. INSTALL NEW GYM FLOORING
- 2. INSTALL NEW FLOORING PER OWNER.
- 3. PAINT WALLS PER OWNER
- 4. INSTALL NEW WALL
- 5. INSTALL NEW DOOR
- 6. LIGHTING BY OWNER.

GENERAL NOTES

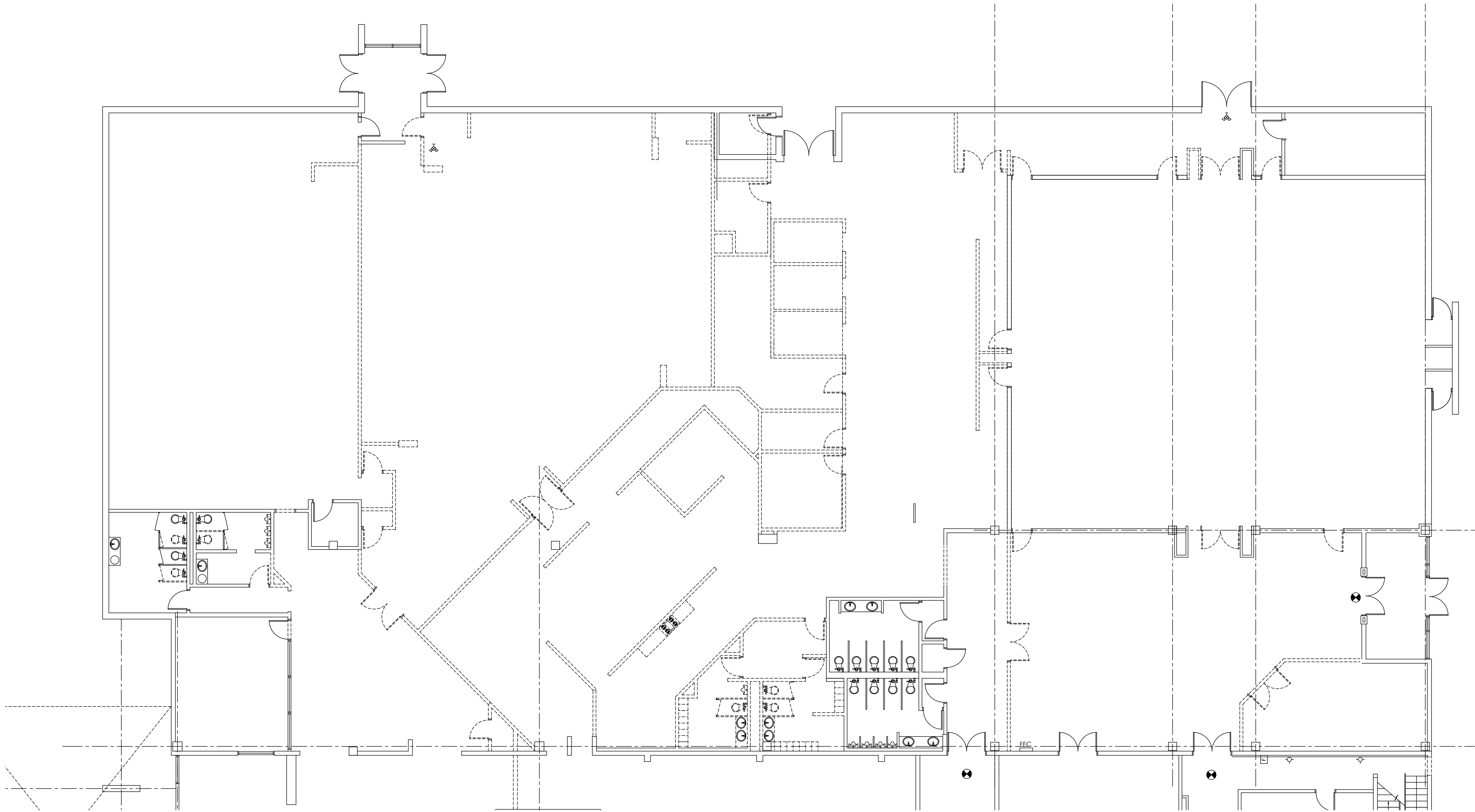
- 1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- 2. GENERAL CONTRACTOR TO COORDINATE DEMOLITION WORK WITH PLUMBING AND ELECTRICAL CONTRACTORS.
- 3. PLUMBING CONTRACTOR TO CAP OFF ANY PLUMBING TO BE ABANDONED AND TIE IN NEW KITCHEN SINK TO EXISTING PLUMBING AT LAVATORIES.
- 4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.
- 5. HALLWAY CARPET TO BE REPLACE, WALLS AND CEILINGS CLEANED, PAINTED OR REPAIRED AS NEEDED.
- 6. NO WORK TO BE DONE IN HALLWAYS OR GENERAL PUBLIC AREAS.

NOTES

MUSIC ROOM EQUIPMENT AND ACOUSTICS BY OTHERS. GYM EQUIPMENT, LAYOUT, FINAL FINISHES, ETC. BY OTHERS.

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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.A. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X-X' - 0'-0"



DEMOLITION KEYNOTES

1. DEMO ALL WALLS AND DOORS SHOWN DASHED
2. REMOVE EXISTING SERVICES
3. REMOVE EXISTING KITCHEN EQUIPMENT PER OWNER
4. REMOVE EXISTING TOILETS
5. REPAIR, PATCH, PREP ALL WALLS FOR PAINT.
6. REPAIR, PATCH, PREP ALL FLOORS FOR FLOORING.

GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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6. NO WORK TO BE DONE IN HALLWAYS OR GENERAL PUBLIC AREAS.

1651 N HARVEST PARKWAY, C217
LIBERTY LAKE, WA 99019

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PROJECT HAVEN LIVING

TOWN, STATE

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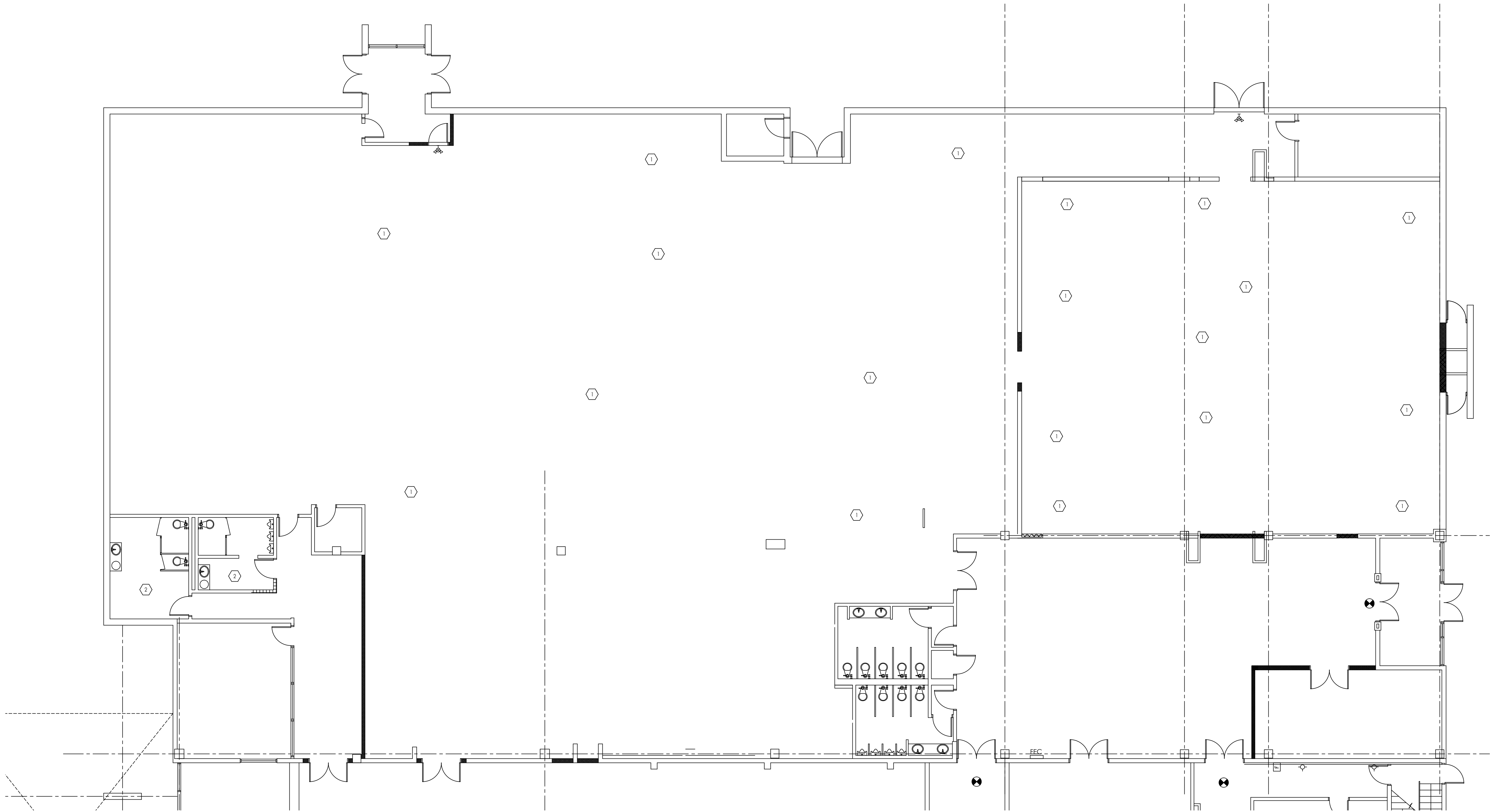
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

ENLARGED PLAN - STORAGE EXISTING AND DEMO

SCALE: X"-1'-0"

A4.6

DRAWN BY: YOU



REMODEL KEYNOTES

- 1. NEW STORAGE UNITS PER OWNER
- 2. REMODEL BATHROOM TO BE ADA ACCESSIBLE
- 3. NEW WALL
- 4. NEW DOOR

NOTES

SEE DRAWING A5.0 STORAGE UNIT DETAILS. STORAGE UNITS BY JANUS INTERNATIONAL.

GENERAL NOTES

- 1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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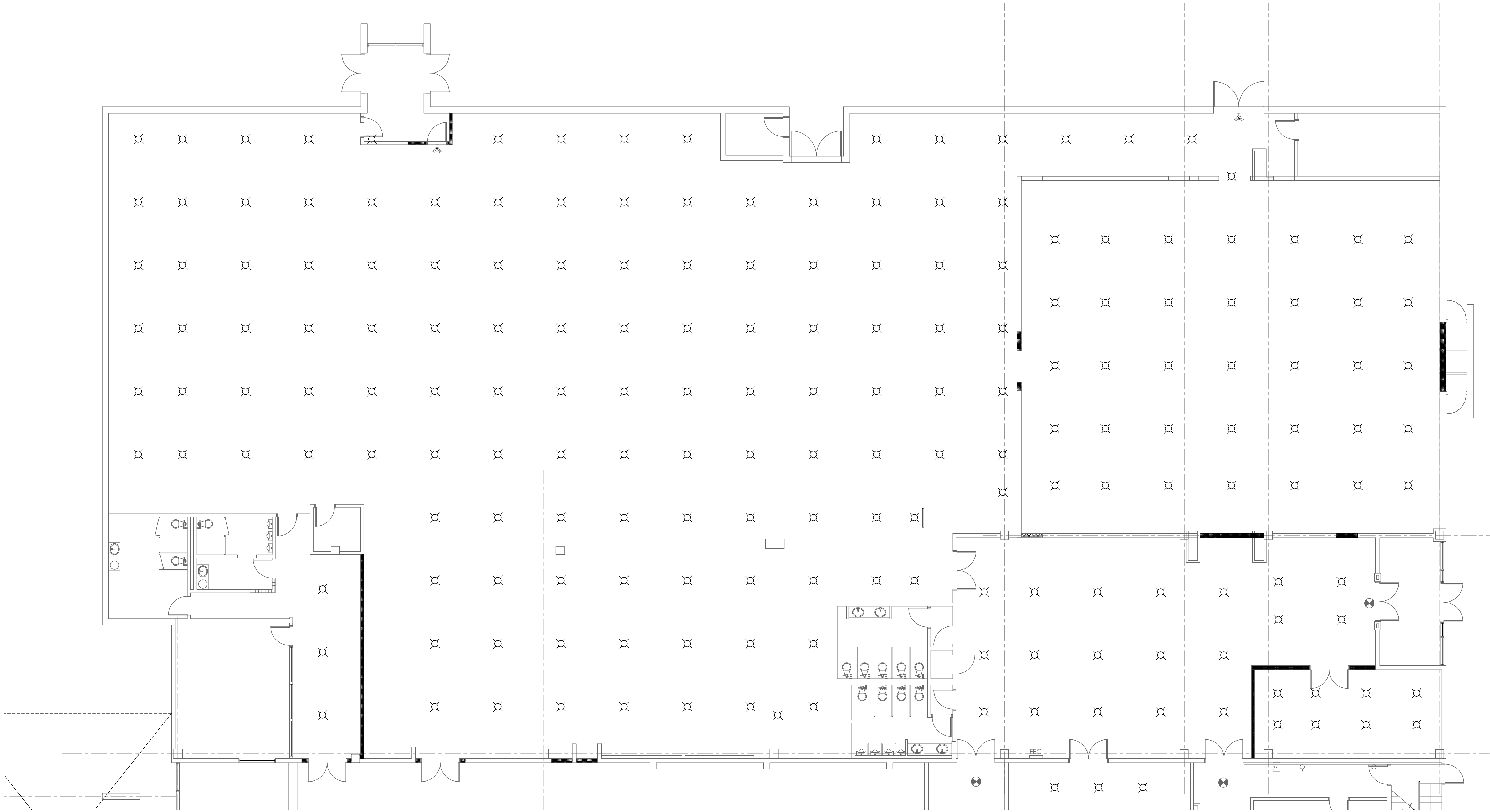
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X'X" - 0'-0"

ENLARGED PLAN
- STORAGE
PROPOSED PLAN

SCALE: X"=1'-0"

A4.7

DRAWN BY: YOU



NOTES

LIGHTS BY OWNER.

GENERAL NOTES

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING DEMOLITION AND CONSTRUCTION. ANY DISCREPANCIES BETWEEN DESIGN AND EXISTING CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
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4. GENERAL CONTRACTOR TO SAVE ALL EQUIPMENT FOR REUSE PER NEW FLOOR PLAN.

PROJECT
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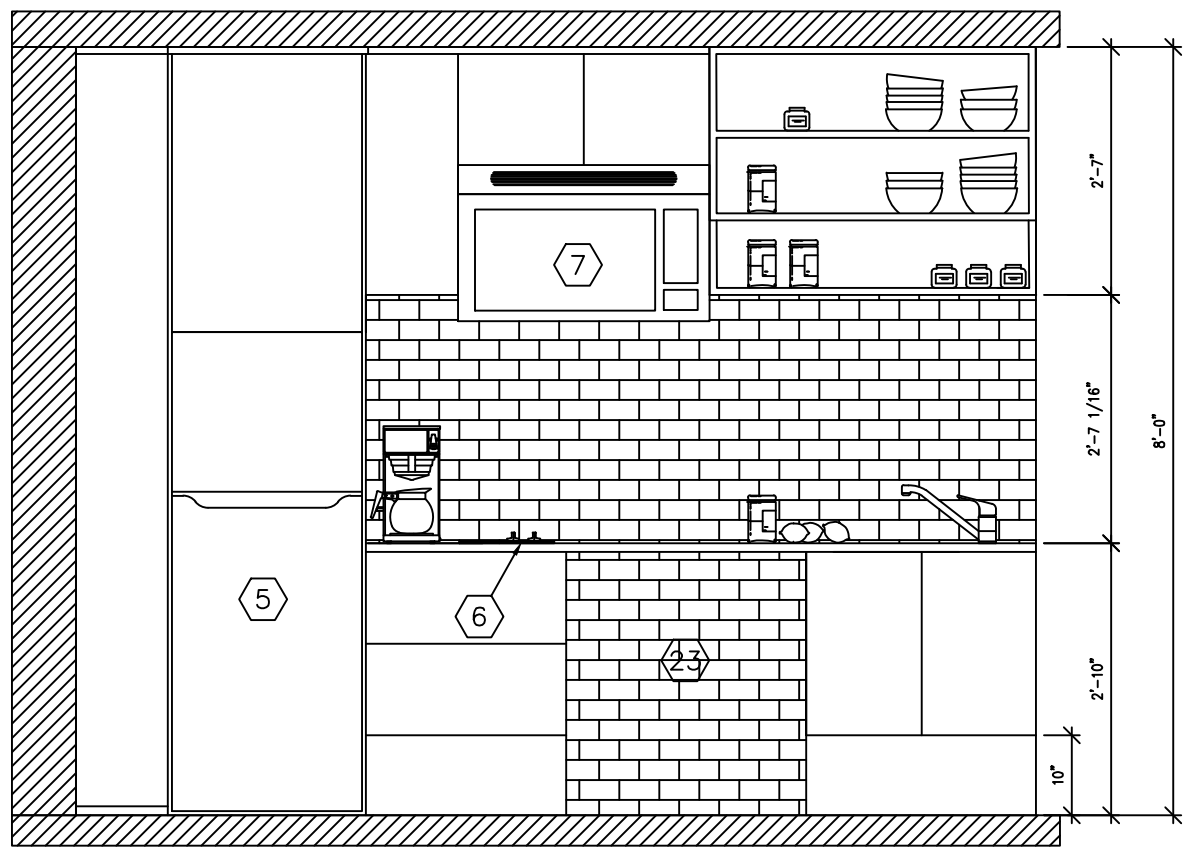
NOTES:
1. ALL DIMENSIONS SHOWN ARE TO F.O. STUD UNLESS OTHERWISE NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

ENLARGED PLAN
- STORAGE
REFLECTED
CEILING PLAN

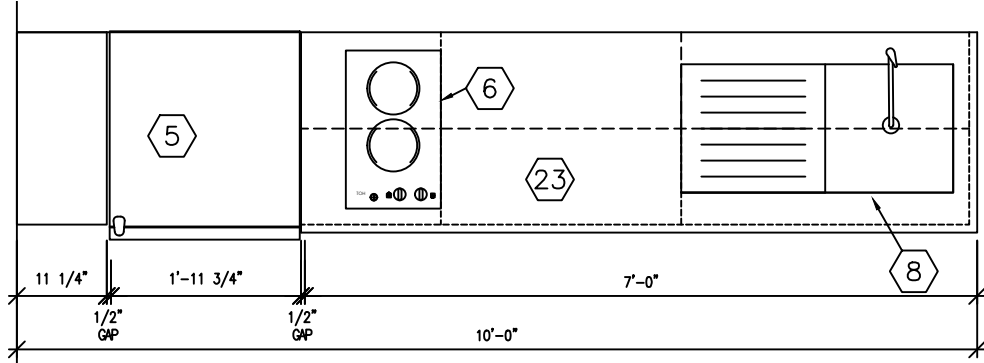
SCALE: X"=1'-0"

A4.8

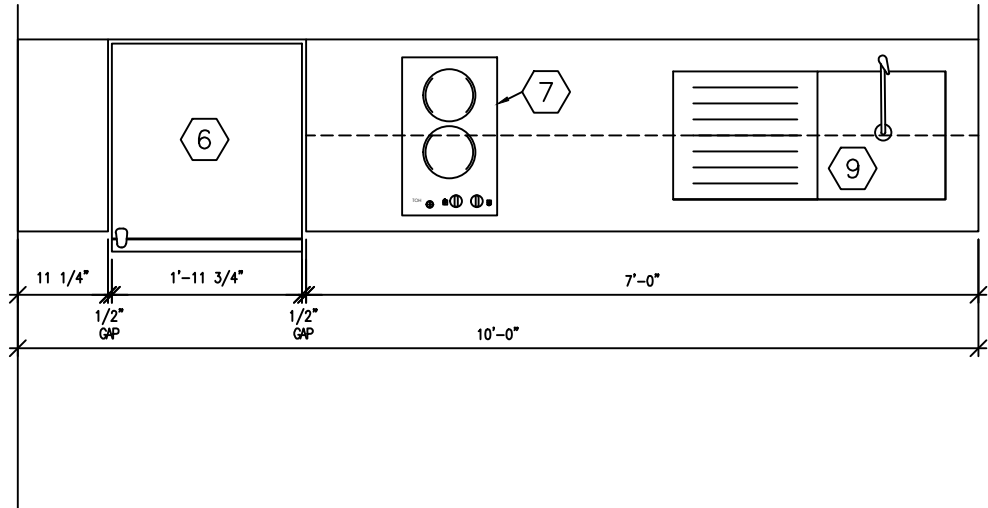
DRAWN BY: YOU



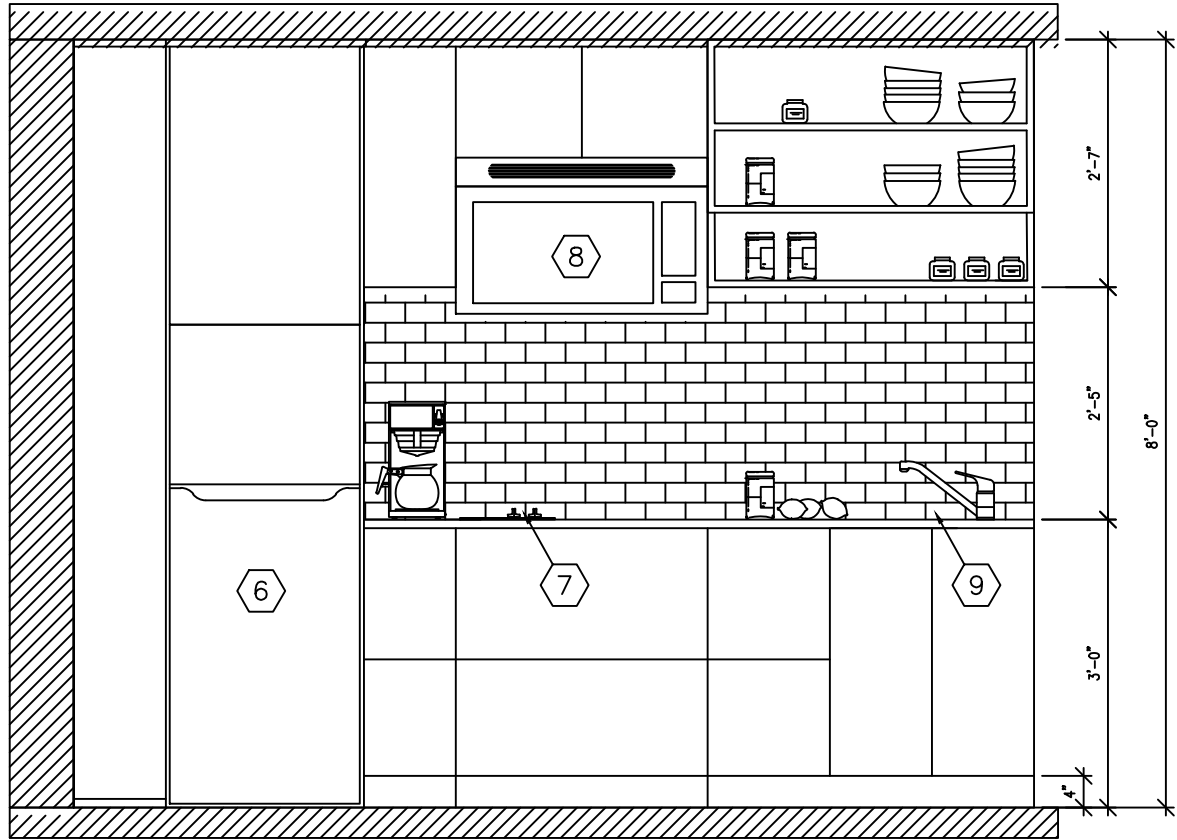
3 KITCHEN ELEVATION - TYPE A UNITS
1/2" = 1'-0"



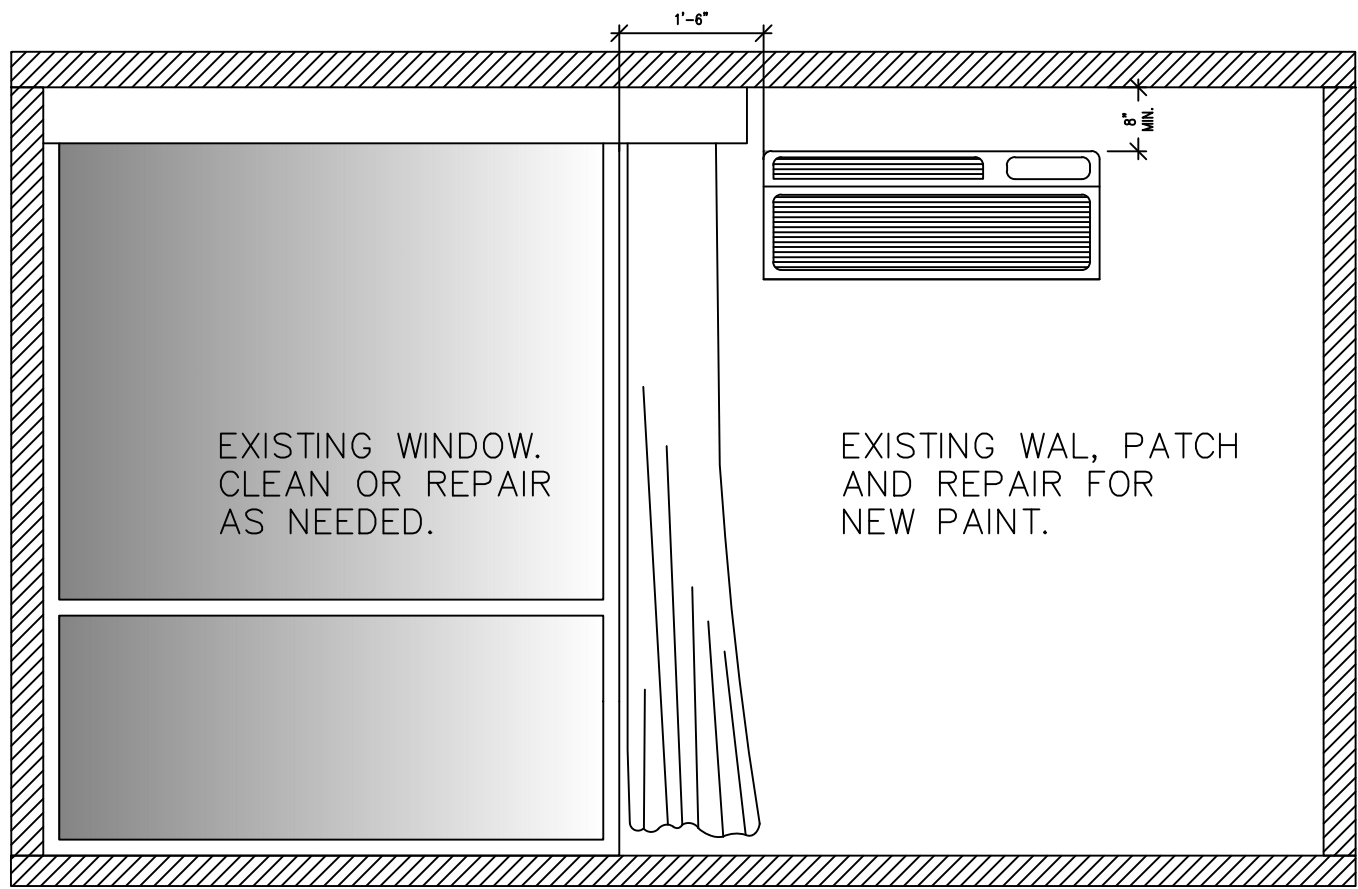
2 KITCHEN LAYOUT -TYPE A UNITS
1/2" = 1'-0"



5 KITCHEN LAYOUT - TYPICAL UNITS
1/2" = 1'-0"



4 KITCHEN ELEVATION - TYPICAL UNITS
1/2" = 1'-0"



1 APARTMENT WINDOW ELEVATION - TYPICAL
1/2" = 1'-0"

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NOTES:
1. ALL DIMENSIONS SHOWN ARE TO
F.O. STUD UNLESS OTHERWISE
NOTED.
2. HOUSE DATUM: X.X' - 0'-0"

PLUMBING SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

Abbreviations	
(A)	ABANDON IN PLACE
AFF	ABOVE FINISHED FLOOR
AP	ACCESS PANEL
AR	ACID-RESISTANT
&	AND
A	AQUASTAT, ARCHITECT, ANCHOR, AMPHERE
@	AT
BFP	BACKFLOW PREVENTER
BV	BALANCING VALVE
BFF	BELOW FINISHED FLOOR
BF	BLIND FLANGE
BTUH	BRITISH THERMAL UNITS PER HOUR
BLDG	BUILDING
CV	CHECK VALVE
CO	CLEANOUT
CW	COLD WATER
CD	CONDENSATE DRAIN
CONT.	CONTINUATION
CFH	CUBIC FEET PER HOUR
CFS	CUBIC FEET PER SECOND
(X)	DEMOLISH
DW	DISHWASHER, DOMESTIC WATER
DET	DOMESTIC EXPANSION TANK
DCVA	DOUBLE CHECK VALVE ASSEMBLY
DN	DOWN
DS	DOWNSPOUT
DSN	DOWNSPOUT NOZZLE
D	DRAIN
DFU	DRAINAGE FIXTURE UNIT
DWV	DRAINAGE, WASTE AND VENT
DF	DRINKING FOUNTAIN
EWC	ELECTRIC WATER COOLER
EWI	ELECTRIC WATER HEATER
ELECT	ELECTRICAL
ESV	ELECTRONIC SOLENOID VALVE
EEW	EMERGENCY EYE WASH
ESH	EMERGENCY SHOWER
(E)	EXISTING
EJ	EXPANSION JOINT
FT	FEET
FPS	FEET PER SECOND
FFE	FINISHED FLOOR ELEVATION
F	FAHRENHEIT
FC	FLEXIBLE CONNECTOR
FL	FLOOR
FCO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FS	FLOOR SINK, FLOW SWITCH
FV	FLUSH VALVE
'	FOOT, FEET
(F)	FUTURE
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
GD	GARBAGE DISPOSER, GARAGE DRAIN
GWH	GAS WATER HEATER
GW	GREASE WASTE
HD	HEAD, HUB DRAIN
HP	HEAT PUMP, HORSE POWER, HOUSEKEEPING PAD
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
HZ	HERTZ
HB	HOSE BIBB
HW	HOT WATER
HWFU	HOT WATER FIXTURE UNIT
HWR	HOT WATER RETURN
IN, "	INCHES
IW	INDIRECT WASTE
INV	INVERT ELEVATION
KW	KILOWATT
L	LAVATORY
MW	MAKE-UP WATER
MAX	MAXIMUM
HG	MERCURY
MIN	MINIMUM
MX	MIXING VALVE
MS	MOP SINK
MH	MOUNTING HEIGHT, MANHOLE
(N)	NEW
NPCW	NON-POTABLE COLD WATER
NOP	NORMALLY OPEN
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
#	NUMBER
NO.	NUMBER
OD	OVERFLOW DRAIN, OUTSIDE DIAMETER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
PH	PHASE
PLBG	PLUMBING
P	PLUMBING, PUMP
POC	POINT OF CONNECTION
PSI	POUNDS PER SQUARE INCH
PD	PRESSURE DROP, PLUMBING DEMOLITION, PUMPED DISCHARGE
PG	PRESSURE GAUGE
PRV	PRESSURE REDUCING VALVE
PS	PRESSURE SWITCH
QTY	QUANTITY
RWL	RAINWATER LEADER
RBPB	REDUCED PRESSURE BACKFLOW PREVENTER
RV	RELIEF VENT, RELIEF VALVE
(R)	RELOCATE / RELOCATED LOCATION
RPM	REVOLUTIONS PER MINUTE
RD	ROOF DRAIN
SAN	SANITARY
SJ	SEISMIC JOINT
SB	SERVICE BOX
SS	SERVICE SINK
SHT	SHEET
SA	SHOCK ARRESTOR
SH	SHOWER
SOV	SHUT OFF VALVE
S, SK	SINK
SF	SQUARE FEET
SD	STORM DRAIN
SP	SUMP PUMP, STATIC PRESSURE
TEMP	TEMPERATURE
T&P	TEMPERATURE AND PRESSURE
T	TEMPERATURE, THERMOMETER
TP	TRAP PRIMER, TOTAL PRESSURE
TD	TRENCH DRAIN
TYP	TYPICAL
U, UR	URINAL
V	VACUUM, VENT, VOLT
VFD	VARIABLE FREQUENCY DRIVE
VS	VENT STACK
VTR	VENT THRU ROOF
WCO	WALL CLEANOUT
WB	WASHER BOX
W	WASTE
WS	WASTE STACK
WC	WATER COLUMN
WC	WATER COLUMN, WATER CLOSET
WHA	WATER HAMMER ARRESTOR
WH	WATER HEATER, WALL HYDRANT
WSFU	WATER SUPPLY FIXTURE UNIT
W/	WITH

Control Symbols

	ANALOG INPUT TO DDC PANEL
	ANALOG OUTPUT FROM DDC PANEL
	DIFFERENTIAL PRESSURE SENSOR
	DIGITAL INPUT CURRENT TRANSFORMER
	DIGITAL INPUT TO DDC PANEL
	DIGITAL OUTPUT FROM DDC PANEL
	DIGITAL OUTPUT START/STOP SIGNAL
	FLOW METER
	LINE VOLTAGE THERMOSTAT
General	
	CONTINUATION
	DETAIL NUMBER AND SHEET LOCATION
	EQUIPMENT IDENTIFICATION
	EXTENT OF DEMOLITION
	FIXTURE TAG (LEVEL BELOW FIXTURE)
	FOOD SERVICE EQUIPMENT / CALCULATION TAG
	KEYED NOTE

	PIPE BELOW GRADE
	POINT OF CONNECTION
	SECTION NUMBER AND SHEET LOCATION
	DEMOLISH
	EXISTING WORK
	NEW WORK
	PIPE OR CONDUIT BELOW GRADE

Piping Fittings

	ACCESS PANEL
	AQUASTAT
	AREA DRAIN
	BLIND FLANGE
	CAP
	CLEANOUT TO GRADE
	CONCENTRIC REDUCER
	DOWNSPOUT NOZZLE
	ECCENTRIC REDUCER
	EXPANSION JOINT
	FLEXIBLE CONNECTION
	FLOOR CLEANOUT
	FLOOR DRAIN
	FLOOR SINK
	FLOW DIRECTION
	FLOW SWITCH
	HOSE BIBB / WALL HYDRANT
	HUB DRAIN
	METER
	OVERFLOW ROOF DRAIN

	PEX MANIFOLD
	PIPE DROP
	PIPE RISE
	PRESSURE GAUGE WITH COCK
	PUMP
	ROOF DRAIN
	SHOCK ABSORBER / WATER HAMMER ARRESTOR
	STRAINER
	T&P RELIEF VALVE WITH PIPE TO DRAIN
	TEE DOWN ON PIPE
	TEE UP ON PIPE
	TEMPERATURE SENSOR
	TEST PORT
	THERMOMETER
	TRAP PRIMER MANIFOLD
	TRENCH DRAIN
	UNION
	VACUUM RELIEF
	VENT THROUGH ROOF
	WALL CLEANOUT

Piping Systems

	140°F HW - 140°F/d HOT WATER PIPING
	140°F/d HWR - 140°F/d HOT WATER RETURN PIPING
	ACID RESISTANT VENT PIPING
	ACID RESISTANT WASTE ABOVE GRADE
	ACID RESISTANT WASTE BELOW GRADE
	COLD WATER PIPING
	COMPRESSED AIR PIPING
	CONDENSATE / INDIRECT DRAIN PIPING
	DE-IONIZED WATER RETURN
	DE-IONIZED WATER SUPPLY
	DISTILLED WATER
	FIRE PROTECTION PIPING
	GREASE WASTE ABOVE GRADE OR FINISHED FLOOR
	GREASE WASTE BELOW GRADE OR FINISHED FLOOR
	HOT WATER PIPING
	HOT WATER RETURN PIPING
	IRRIGATION
	NATURAL GAS PIPING, 2 LB
	NATURAL GAS PIPING, 7" WC PRESSURE
	NON-POTABLE COLD WATER PIPING
	NON-POTABLE HOT WATER PIPING
	OVERFLOW DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR
	PUMPED DISCHARGE

	REVERSE OSMOSIS WATER
	SANITARY VENT PIPING
	SANITARY WASTE OR SOIL PIPING ABOVE GRADE OR FINISHED FLOOR
	SANITARY WASTE OR SOIL PIPING BELOW GRADE OR FINISHED FLOOR
	SOLAR HOT WATER
	SOLAR HOT WATER RETURN
	STORM DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR
	STORM DRAIN PIPING BELOW GRADE OR FINISHED FLOOR
	TEMPERED WATER PIPING
	TRAP PRIMER PIPING

Valves

	BACKFLOW PREVENTER
	BACKWATER VALVE
	BALANCING VALVE
	CHECK VALVE
	EARTHQUAKE GAS VALVE
	ELECTRONIC SOLENOID VALVE
	GLOBE VALVE
	HOSE END DRAIN VALVE
	NATURAL GAS PIPING CONNECTION ASSEMBLY
	PRESSURE REDUCING VALVE
	SHUTOFF VALVE, GENERAL

GENERAL PLUMBING NOTES

- A. CONDITIONS SHOWN ON PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE AND ARE SUBJECT TO CONTRACTOR TO FIELD VERIFICATION. VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES TO BE CROSSED OR CONNECTED. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NOT EXPENSE TO THE OWNER. IMMEDIATELY NOTIFY ARCHITECT OF CONDITION IN CONFLICT WITH THE DETAIL PLANS.
- B. PRIOR TO START OF WORK, THE GENERAL AND PLUMBING CONTRACTOR SHALL PERFORM SCOPING AND THOROUGH INVESTIGATION OF EXISTING SANITARY SEWER SYSTEM TO DETERMINE THE EXACT CONDITION IF PIPING, INVERT ELEVATION AND ROUTING.
- C. COORDINATE INSTALLATION OF PIPING BELOW AND ABOVE GRADE WITH STRUCTURAL COMPONENTS AND OTHER SYSTEMS INSTALLATION.
- D. COORDINATE FIXTURES, EQUIPMENT, PIPE ROUGH-IN / CONNECTION LOCATIONS AND DRAIN LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- E. LOCATE SHUT-OFF VALVES FOR SERVICE ACCESSIBILITY. VALVES INSTALLED ABOVE CEILING SHALL BE WITHIN 18" OF CEILING.
- F. BECAUSE OF THE NATURE AND SCALE OF THE DRAWINGS, CERTAIN BASIC PLUMBING ITEMS SUCH AS UNIONS, FITTINGS, ELBOWS, ETC., MAY NOT BE SHOWN. WHERE SUCH ITEMS ARE REQUIRED BY THE NATURE OF THE WORK, OR BY CODES AND REGULATIONS, THEY SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST TO THE OWNER. THE DRAWINGS INDICATE GENERAL LOCATIONS OF PIPING, THE EXACT LOCATION TO BE DETERMINED BY THE CONTRACTOR TO BEST FIT THE LAYOUT OF THE PROJECT.
- G. THE CONTRACTOR SHALL SEE THAT ALL MATERIALS, INSTALLATION AND WORKMANSHIP IS PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF ALL APPLICABLE CODES, LAWS, OR ORDINANCES AND LOCAL CODES, INCLUDING ALL STATE OR LOCAL BOARD OF HEALTH FEDERAL AND STATE ENVIRONMENTAL PROTECTION REGULATION, STATE ENERGY CODES.
- H. CONTRACTOR TO FIELD VERIFY ALL GAS FIRED EQUIPMENT AND COORDINATE WITH THE LOCAL GAS COMPANY FOR SIZE OF NEW METERS.
- I. CONTRACTOR TO COORDINATE WITH ARCHITECT/ OWNER FOR ALL NEW PLUMBING FIXTURES, SEE SCHEDULE CUT SHEET ON SHEET P0.2.
- J. CONTRACTOR TO FIELD VERIFY ALL DOMESTIC WATER PIPING THAT HAS BEEN REMOVED DUE TO VANDALISM THROUGH OUT THE BUILDING SHALL BE REPLACED WITH PEX TUBING WITH THE CORRECT PIPE SIZES. THE HOT, COLD & RETURN SHALL BE A COMPLETE WORKING ORDER SYSTEM WHEN DONE.

Mechanical approved by James Darnold
Exceptions has noted

Checking is only general conformance with the design concept of this project and general compliance with the information given in the contract documents. Any correction or comment are subject to the requirements of the plans and specifications. Contractor is responsible for dimensions which shall conform and correlated all of the job site, fabrication process and techniques of construction, coordination of work preformed with that of all trades and the satisfactory performance of work preformed and all codes requirements. All sections shall conform with all current adopted national and state mechanical codes

SHEET INDEX

P0.1	SYMBOL LIST AND GENERAL NOTES - PLUMBING
P0.2	SCHEDULES - PLUMBING
P1.0	FIRST FLOOR PLAN - PLUMBING
P1.1	SECOND FLOOR PLAN - PLUMBING
P1.2	ROOF PLAN - PLUMBING
P4.0	ENLARGED UNIT PLANS - PLUMBING
P4.1	ENLARGED ACCESSIBLE UNIT PLANS - PLUMBING



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SHEET TITLE

SYMBOL LIST AND
GENERAL NOTES -
PLUMBING

REVISIONS

DRAWN BY

TK

CHECKED BY

JMM

JOB NO.






2022-1372

DATE

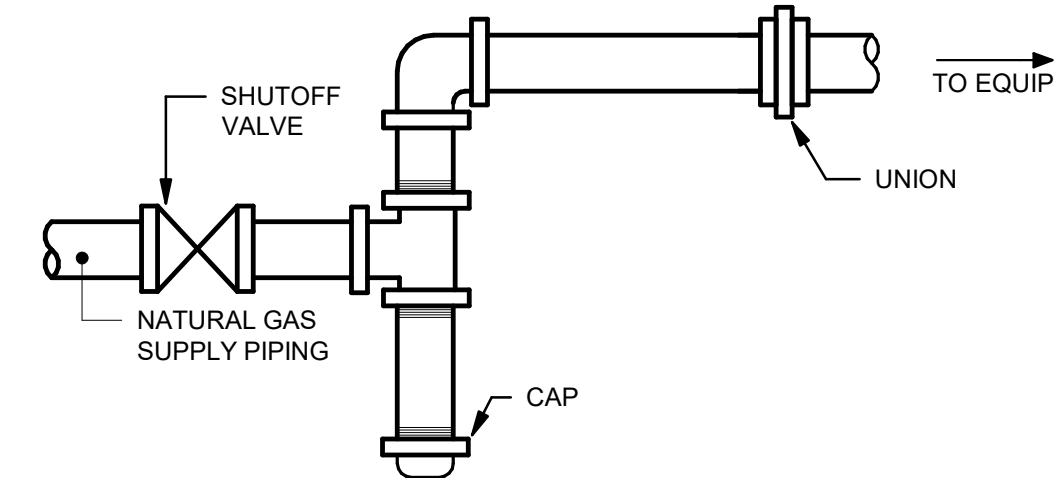
03/31/2023

SHEET NUMBER

P0.1

Item	certificate Item	Picture	DESCRIPTION	Finish	QTY	
HL-102818S	102818S		Size 29 1/8" x 19 1/2" Material SUS304 Thickness 18 Gauge RD corner Bottom with slandering pad and spray coating With drainer accessories	Brushed	133	File No. 10966
006-4940	102818S		Material SUS304 With drainer accessories	PVD BLACK	133	
6555-RS-03	6555-RS-03		(1) 16" Faucet Height, 8" Spout Height and 9" Spout Reach (2) Ceramic cartridge, 900,000 times for open and close (3) Rotating 360° Bent Pipe (4) 60mm Bottom Sleeve, Faucet mounting hole Ø32mm (5) Suitable for all countertop installation (6) 1 Set flexible hose 3/8" female comp, 600mm including (7) US Patent Nut locking assembly, Easy and simple installation, More stable faucet With cUPC Certificate	Brushed	133	File No. 4974
6902	6902		(1) 12" Faucet Height, 8" Spout Height and 9" Spout Reach (2) Ceramic cartridge, 900,000 times for open and close (3) 60mm Bottom Sleeve, Faucet mounting hole Ø32mm (4) Suitable for all countertop installation (5) 1 Set flexible hose 3/8" female comp, 600mm including (6) Outlet with copper tube, (7) US Patent Nut locking assembly, Easy and simple installation, More stable faucet With cUPC Certificate	PVD BLACK	133	
6263A-05	6263A-05		(1) 14" NPT pipe thread Shower Arm (2) 304 stainless steel single function Square 12" Shower head (3) 90° rotation of transfer valve handle with stops (4) Pressure-balancing control valve, 500,000 times for open and close (5) Square panel, 150CM shower hose (6) 304 stainless steel single function handheld shower (7) including Tub Spout (8) Shower Head flow is limited to 1.5-2.5gpm at 80 psi (9) Handheld Shower flow is limited to 1.5-2.5gpm at 80 psi (10) Tub Spout flow is limited to 2.4gpm at 20 psi With cUPC Certificate	BLACK	133	

PLUMBING FIXTURE SCHEDULE-MODEL										
SYMBOL	FIXTURE TYPE	DESCRIPTION	BASIS OF DESIGN		ACCESSORIES	CONNECTION				COMMENT
			MFR	MODEL		W	V	CW	HW	
WM-1	OUTLET BOX	WASHING MACHINE OUTLET BOX (FIRE RATED) - NSF-372 COMPLIANT, ABS BOX/FRAME, NO-LEAD BRASS VALVES, ASSE 1010 WATER HAMMER ARRESTORS, 3/4" OUTLET CONNECTIONS, 2" DRAIN CONNECTION, INDIVIDUAL DRAIN AND SUPPLY BOXES	SIOUX CHIEF	696RG2313		2"	1-1/2"	1/2"	1/2"	



1 GAS CONNECTION DETAIL

NO SCALE

GAS CALCULATIONS				
FIXTURE	DESCRIPTION	NO. OF FIXT.	BTU/HR INPUT	TOTAL BTU/HR
MECHANICAL EQUIPMENT				
RTU-1	ROOF TOP UNIT	1	150,000	150,000
RTU-2	ROOF TOP UNIT	1	120,000	120,000
RTU-3	ROOF TOP UNIT	1	250,000	250,000
RTU-4	ROOF TOP UNIT	1	150,000	150,000
RTU-5	ROOF TOP UNIT	1	150,000	150,000
DOAS-01	DEDICATED OUTSIDE AIR UNITS	1	154,000	154,000
DOAS-02	DEDICATED OUTSIDE AIR UNITS	1	154,000	154,000
PLUMBING EQUIPMENT				
[]	DOMESTIC WATER HEATER	0	0	0
[]	DOMESTIC WATER HEATER	0	0	0
TOTAL DEMAND (BTU)				1,128,000
TOTAL DEMAND (CFH)				1,128
GAS: NATURAL GAS PIPING: SCH 40 STEEL SIZING BASED ON: 7" W.C. STD SUPPLY PRESSURE WITH 0.5 PSI PRESSURE DROP 250 FEET DEVELOPED LENGTH				
4"	4,560 CFH			
3"	1,980 CFH			
2-1/2"	1,120 CFH			
2"	704 CFH			
1 1/2"	366 CFH			
1 1/4"	244 CFH			
1"	119 CFH			
3/4"	63 CFH			
1/2"	30 CFH			

WATER SERVICE CALCULATIONS													
PRIVATE INDIVID. DWELLING	PRIVATE 3 OR MORE DWELLINGS	PUBLIC GENERAL USE	PUBLIC HEAVY USE ASSEMBLY	DESCRIPTION	PRIVATE INDIVIDUAL DWELLING	PRIVATE 3 OR MORE DWELLINGS	PUBLIC GENERAL USE	PUBLIC HEAVY-USE ASSEMBLY	TOTAL UNITS	(75) HOT WATER	WASTE FIXTURE PRIVATE	WASTE FIXTURE PUBLIC	TOTAL UNITS
				RETAIL SPACE	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
				SINK	1.00	1.00	2.00	2.00	0.00	0.00	2.00	0.00	0.00
	126			BATHTUB OR COMB. BATHSHOWER	4.00	3.50	0.00	4.00	441.00	330.75	3.00	3.00	378.00
		1		HOSE BIBB	2.50	2.50	2.50	2.50	0.00	0.00	0.00	0.00	0.00
				HOSE BIBB (HW/CW)	2.50	2.50	2.50	2.50	0.00	0.00	0.00	0.00	0.00
		8		HOSE BIBB, EACH ADDITIONAL	1.00	1.00	1.00	1.00	8.00	0.00	0.00	0.00	0.00
	126			KITCHEN SINK, DOMESTIC	1.50	1.00	1.50	2.00	126.00	94.50	2.00	2.00	252.00
				LAUNDRY SINK	1.50	1.00	2.00	0.00	0.00	0.00	2.00	2.00	0.00
	126	7		LAVATORY	1.00	0.50	1.00	1.00	70.00	52.50	2.00	2.00	266.00
				SERVICE SINK OR MOP BASIN (2" TRAP)	0.00	0.00	3.00	3.00	0.00	0.00	3.00	3.00	0.00
		4		SERVICE SINK OR MOP BASIN (3" TRAP)	0.00	0.00	3.00	3.00	12.00	9.00	3.00	3.00	12.00
				SHOWER, EACH HEAD	2.00	2.00	2.00	2.00	0.00	0.00	2.00	2.00	0.00
		4		URINAL, 1.0 GPF	0.00	0.00	4.00	5.00	16.00	0.00	5.00	5.00	20.00
				WASHUP SINK, EACH SET OF FAUCETS	0.00	0.00	2.00	0.00	0.00	0.00	2.00	2.00	0.00
	126			WATER CLOSET, 1.6 GPF, GRAVITY TANK	2.50	2.50	2.50	4.00	315.00	236.25	3.00	6.00	378.00
				WATER CLOSET, 1.6 GPF, FLUSHOMETER TANK	2.50	2.50	2.50	3.50	0.00	0.00	3.50	8.00	0.00
		12		WATER CLOSET, 1.6 GPF, FLUSHOMETER VALVE	5.00	5.00	5.00	8.00	60.00	0.00	3.00	6.00	72.00
				FLOOR DRAIN - EMERGENCY	-				0.00		0.00	0.00	0.00
	6			FLOOR DRAIN - FD-1	3"				0.00		6.00	6.00	36.00
				FLOOR DRAIN - FD-2	4"				0.00		8.00	8.00	0.00
				FLOOR DRAIN - FD-3	3"				0.00		6.00	6.00	0.00
	4			FLOOR SINK - FS-1	4"				0.00		6.00	6.00	24.00
				TOTAL FIXTURE UNITS					1050.50	723.00			1438.00
				FLOW IN GPM					220.600	13.000	gpm		
				EMERGENCY SAFETY EQUIPMENT	30	GPM			0.000				
				COOLING TOWER MAKE-UP	30	GPM			0.000				
				HVAC MAKE-UP	30	GPM			0.000				
				IRRIGATION FLOW	20	GPM			0.000				
				TOTAL GPM REQUIRED					220.000	gpm			
	a.			MINIMUM DAILY SERVICE PRESSURE					84.000	(Water Service Room near Elevators))			
	b.			STATIC HEAD LOSS 434 /FT X	FT HGHT.				30.000				
	c.			WATER METER PRESSURE DROP	0	METER SIZE			5.000				
	d.	2		BACKFLOW PREVENTER	0				8.000				
	e.			PRESSURE REQUIRED AT FIXTURE					35.000				
				PRESSURE AVAILABLE FOR									
				FRICTION LOSS, a - b - c - d - e					6.000				
				TOTAL EQUIVALENT PIPE LENGTH									
	450	FT		LENGTH X 1.25					562.500				
				MAXIMUM FRICTION LOSS									
				PRESS. AVAIL. X 100/EQUIV. LENGTH					1.067				
				SYSTEM SIZED FOR 1.2 PSIG LOSS PER 100'									
				SERVICE SIZE FROM BUILDING PIPING					4"				
				SEWER LATERAL SIZE									8"



INTERFACE
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2023.05.11
10:51:56-0700

HAVEN LIVING

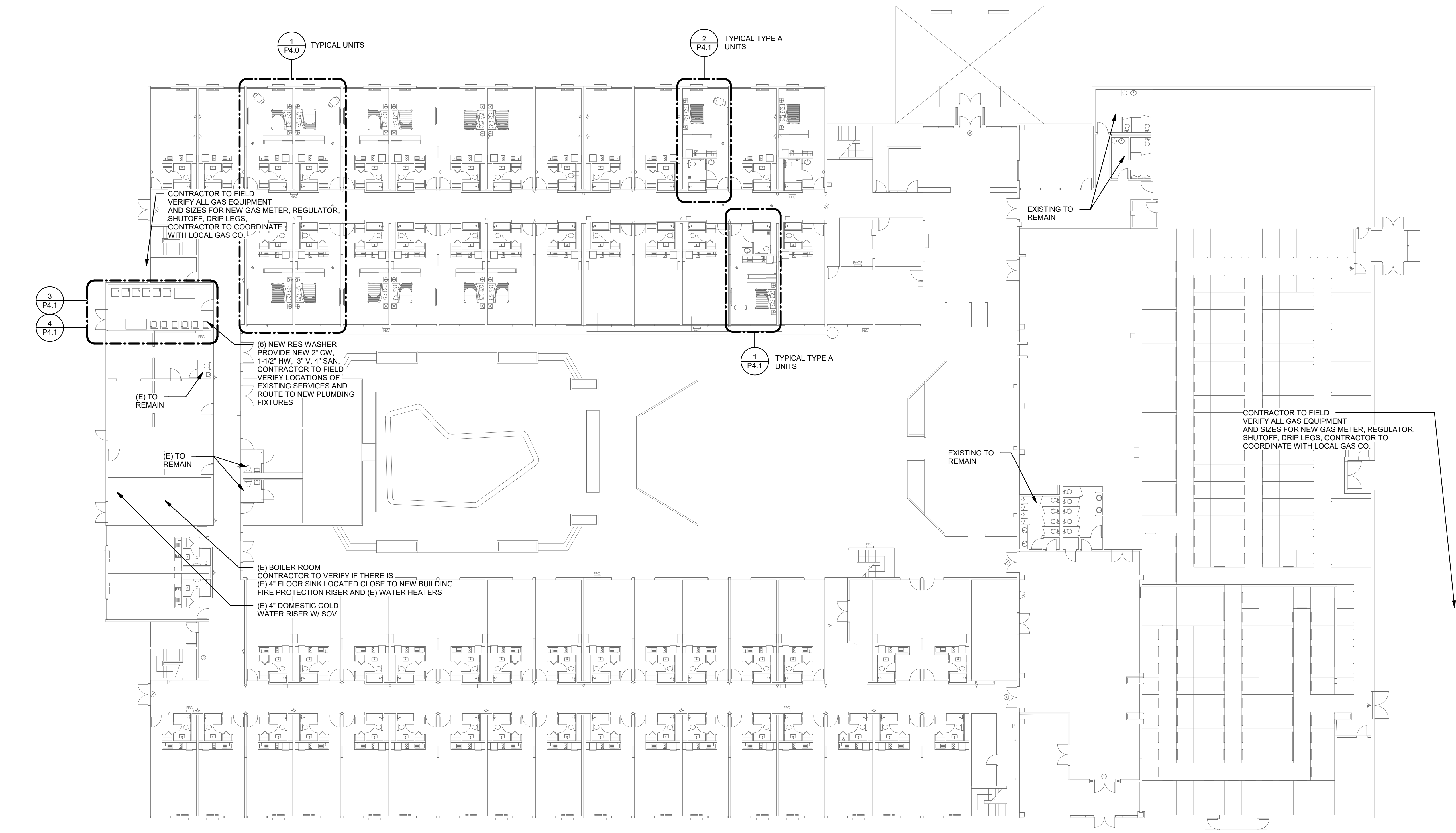
3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE
FIRST FLOOR PLAN -
PLUMBING

REVISIONS	

DRAWN BY TK
CHECKED BY JMM
JOB NO. 2022-1372
DATE 03/31/2023
SHEET NUMBER

P1.0



Must comply with all national and state adopted codes



1 FIRST FLOOR PLAN - PLUMBING

0' 8' 16' 32'
1/16" = 1'-0"



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10:51:56-0700



1 SECOND FLOOR PLAN - PLUMBING

0' 8' 16' 32'
1/16" = 1'-0"

HAVEN LIVING
3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE
SECOND FLOOR PLAN -
PLUMBING

REVISIONS	

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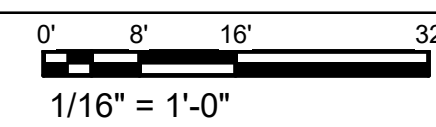
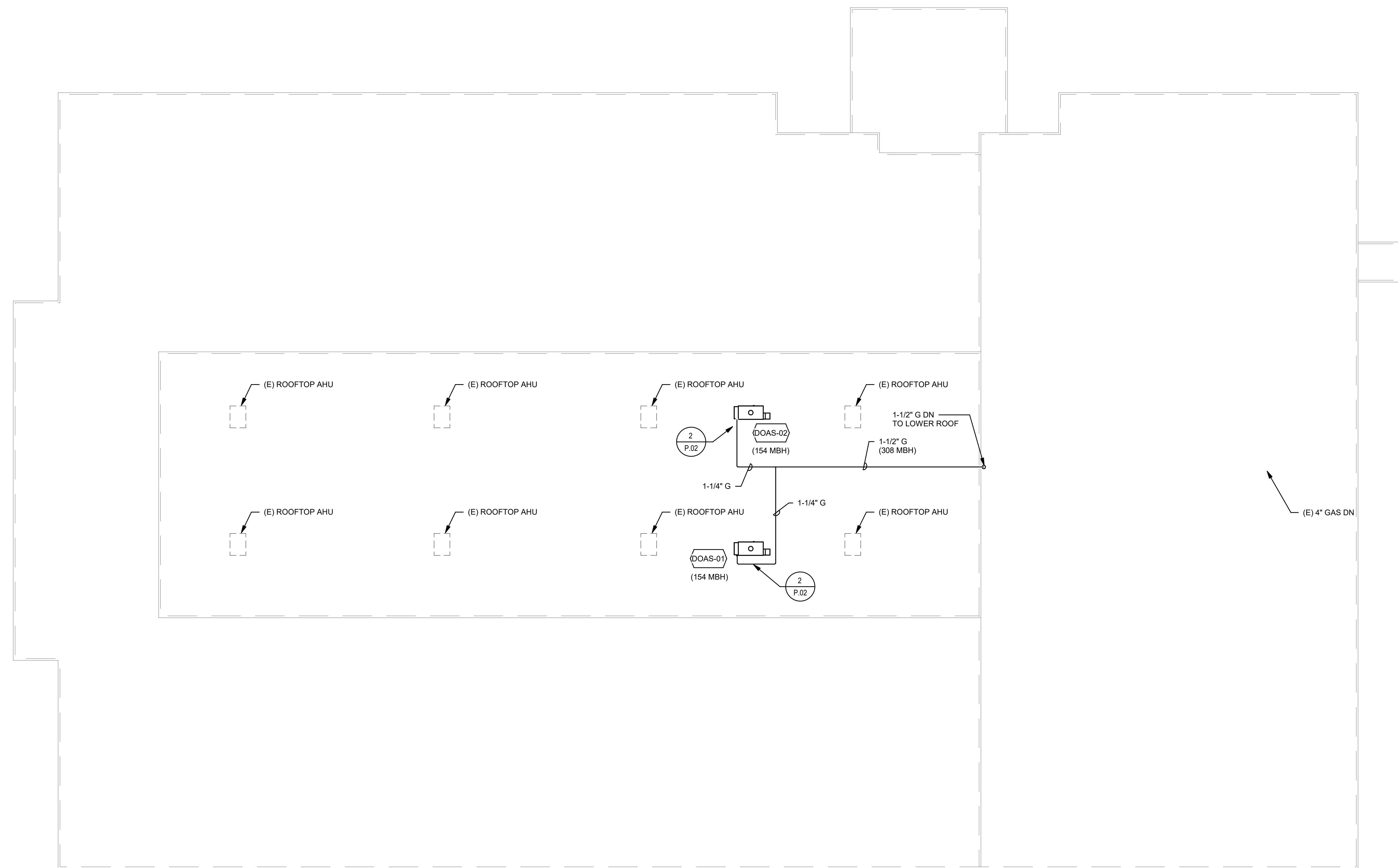
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OF PLAN - PLUMBING

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P1.2



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SHEET TITLE

ENLARGED UNIT PLANS
PLUMBING

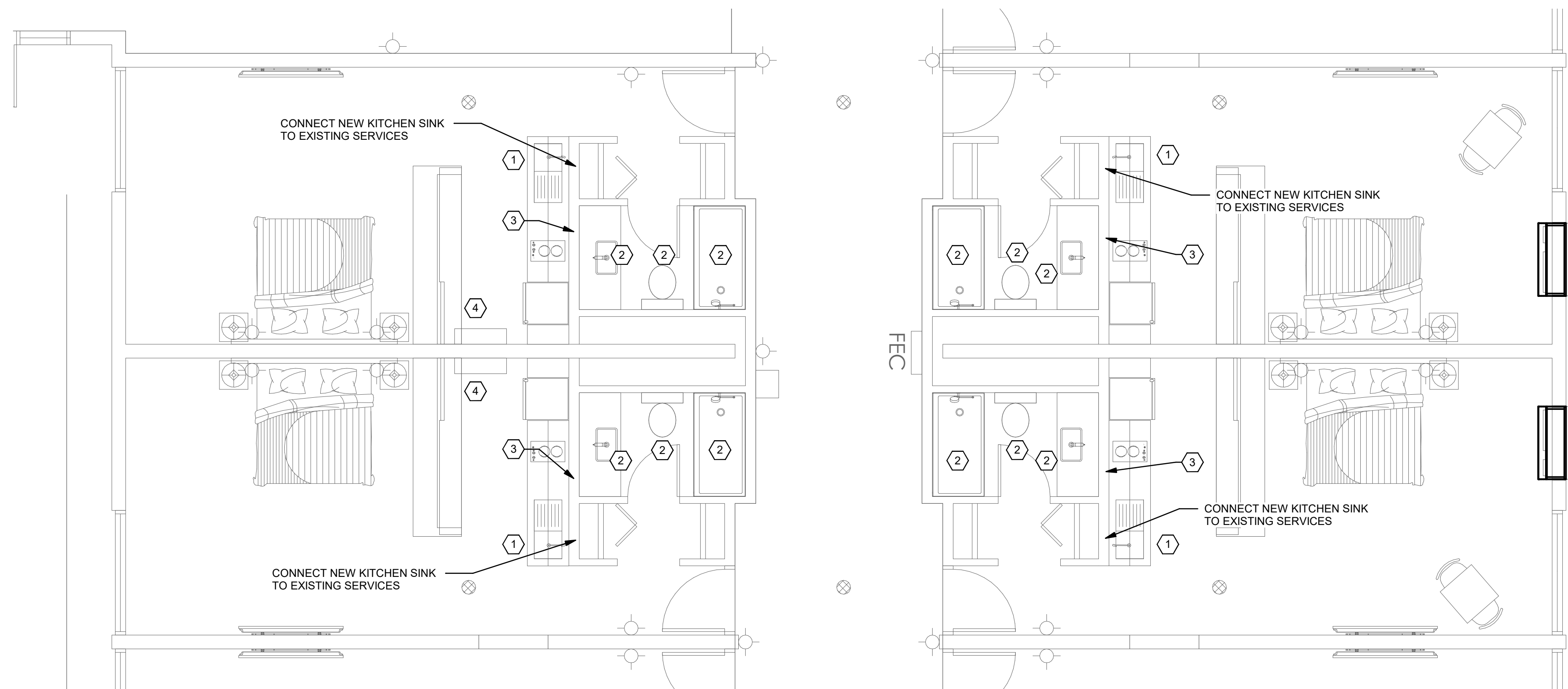
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JOB NO.	2022-1372
DATE	03/31/2023
SHEET NUMBER	

P4.0

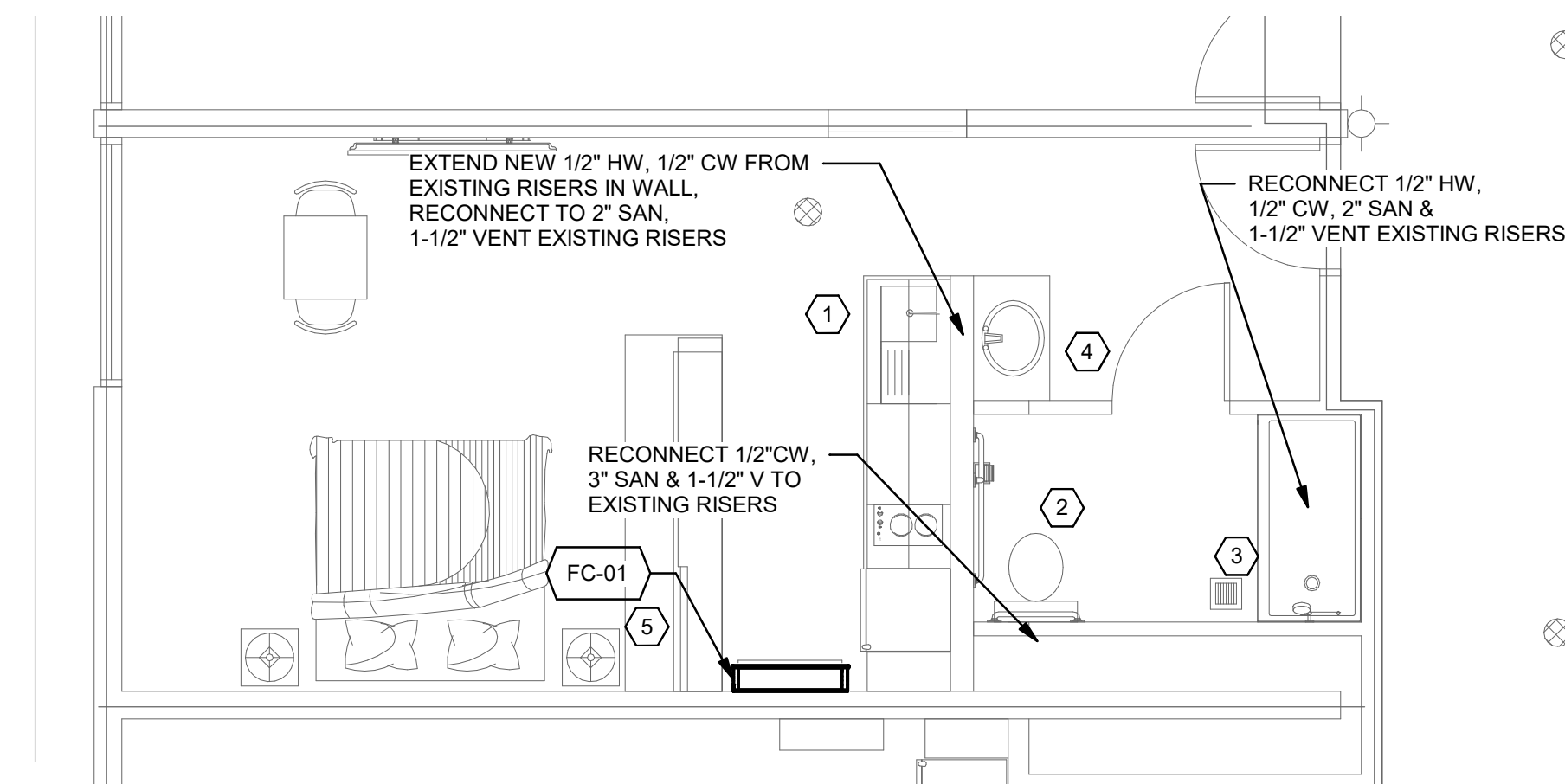
SHEET KEYNOTES

1. NEW KITCHEN SINK COORDINATE WITH OWNER, SEE SCHEDULE ON SHT. P0.2.
2. EXISTING FIXTURES TO REMAIN.
3. EXTEND 1/2" HW, 1/2" CW TO NEW KITCHEN SINK, ROUTE 2" SAN , 1-1/2" VENT IN WALL AND CONNECT TO EXISTING SERVICES.
4. ROUTE 3/4" CONDENSATE TO THE NEAREST SINK OR LAVATORY TAILPIECE.

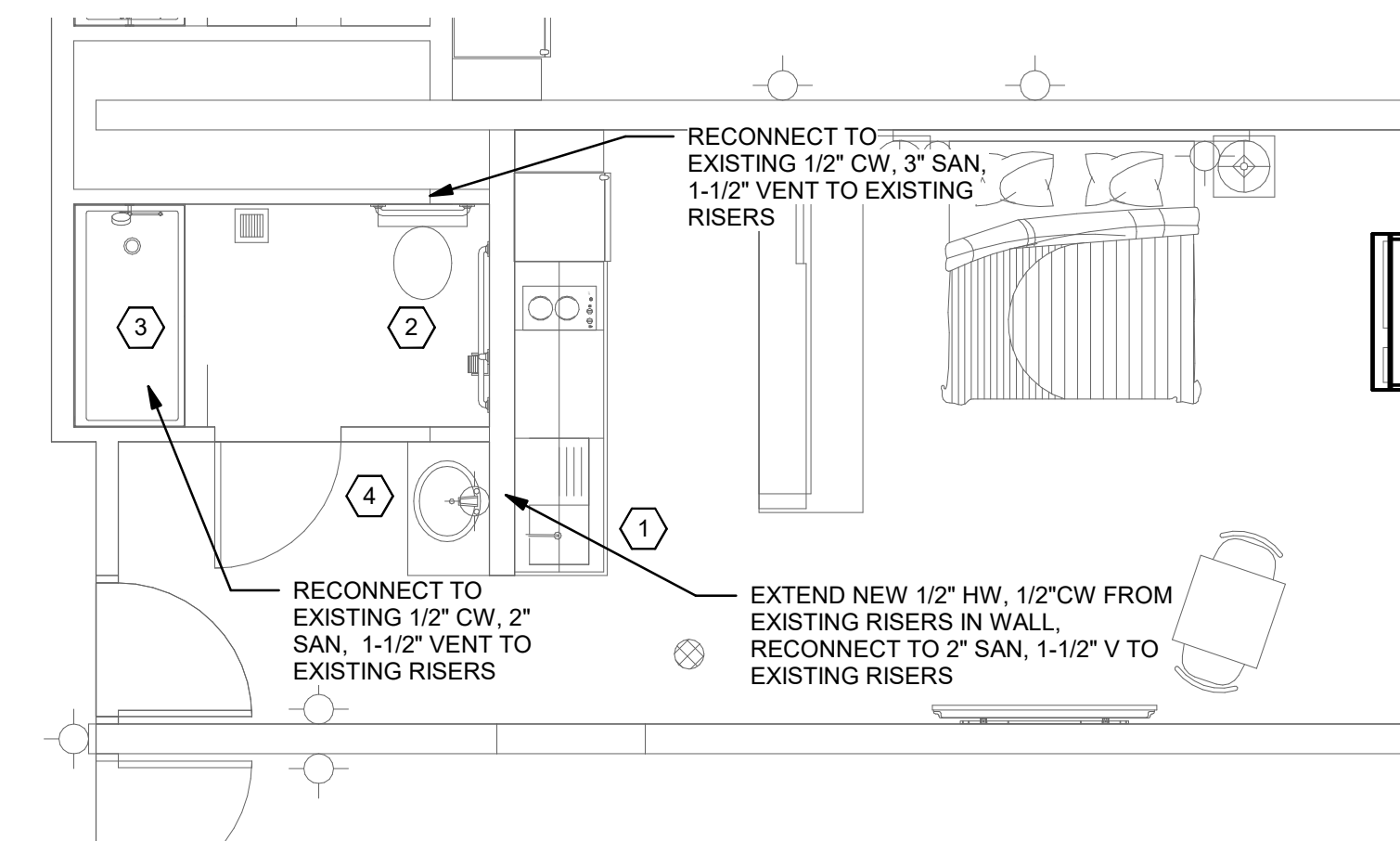


Must comply with all national and state adopted codes

1. KITCHEN SINK COORDINATE WITH OWNER, SEE SCHEDULE ON SHT. P0.2
2. NEW ADA WATER CLOSET COORDINATE WITH OWNER FOR MAKE AND MODEL.
3. NEW ADA SHOWER AND SHOWER VALVE. COORDINATE WITH OWNER, SEE SCHEDULE ON SHT. P0.2
4. EXISTING FIXTURE TO BE REUSED.
5. ROUTE CONDENSATE TO THE NEAREST TAILPIECE.
6. ROUTE NEW 4" SANITARY SEWER TO THE NEAREST EXISTING, CONTRACTOR TO FIELD VERIFY EXISTING LOCATION.
7. CONTRACTOR TO VERIFY THERE IS A FLOOR DRAIN IN THE SPACE, IF NO FLOOR DRAIN A 3" FLOOR DRAIN WILL NEED TO BE ADDED, VENT AND TRAP PRIME PER CODE.
8. ROUTE NEW 1-1/2" COLD, 1-1/4" HOT WATER TO THE NEAREST SERVICES, CONTRACTOR TO FIELD VERIFY EXISTING LOCATION.
9. ROUTE NEW 3" VENT TO THE NEAREST SERVICES, CONTRACTOR TO FIELD VERIFY EXISTING LOCATION.

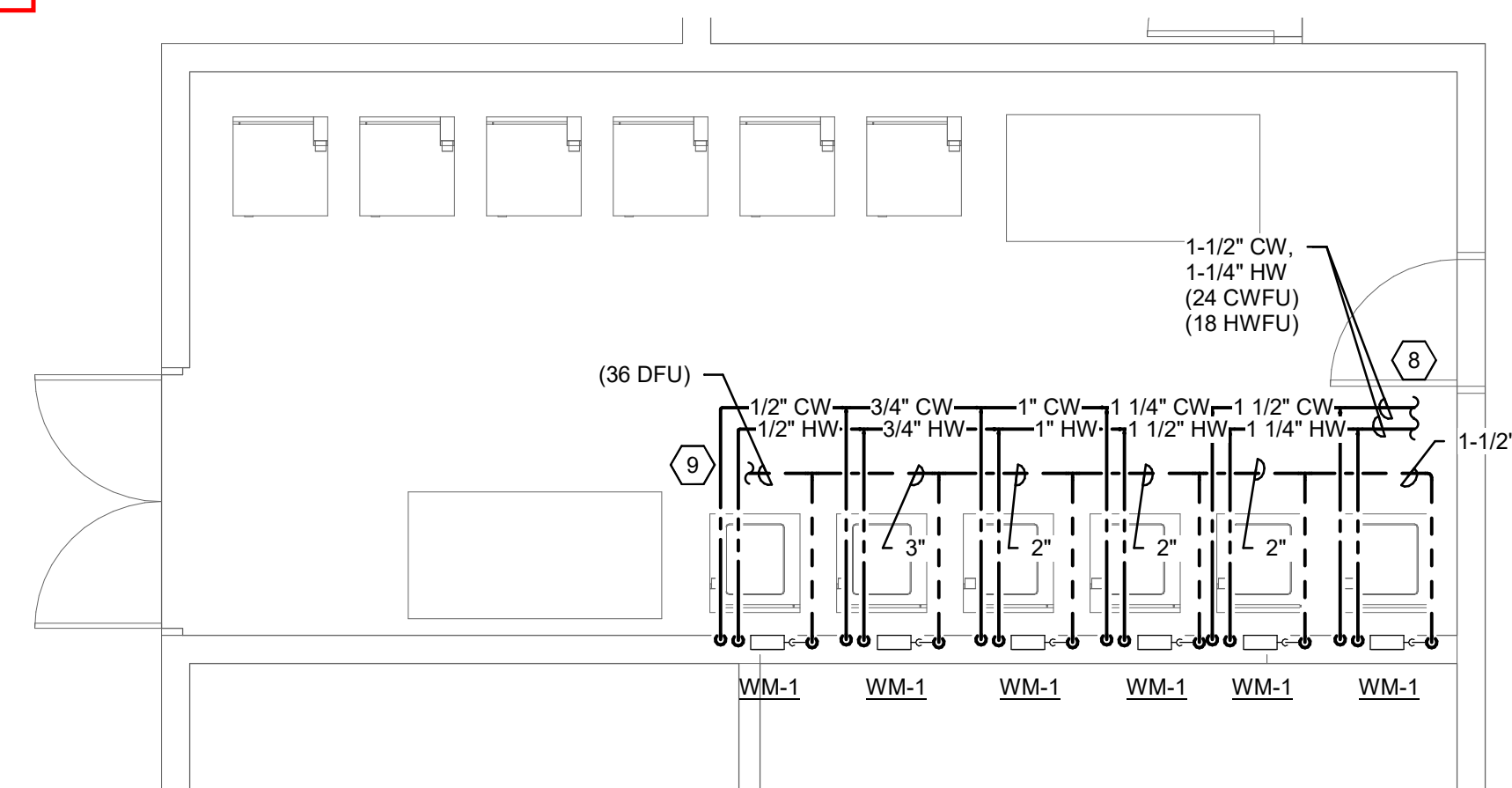


1 ENLARGED FLOOR PLAN TYPE A UNIT - PLUMBING

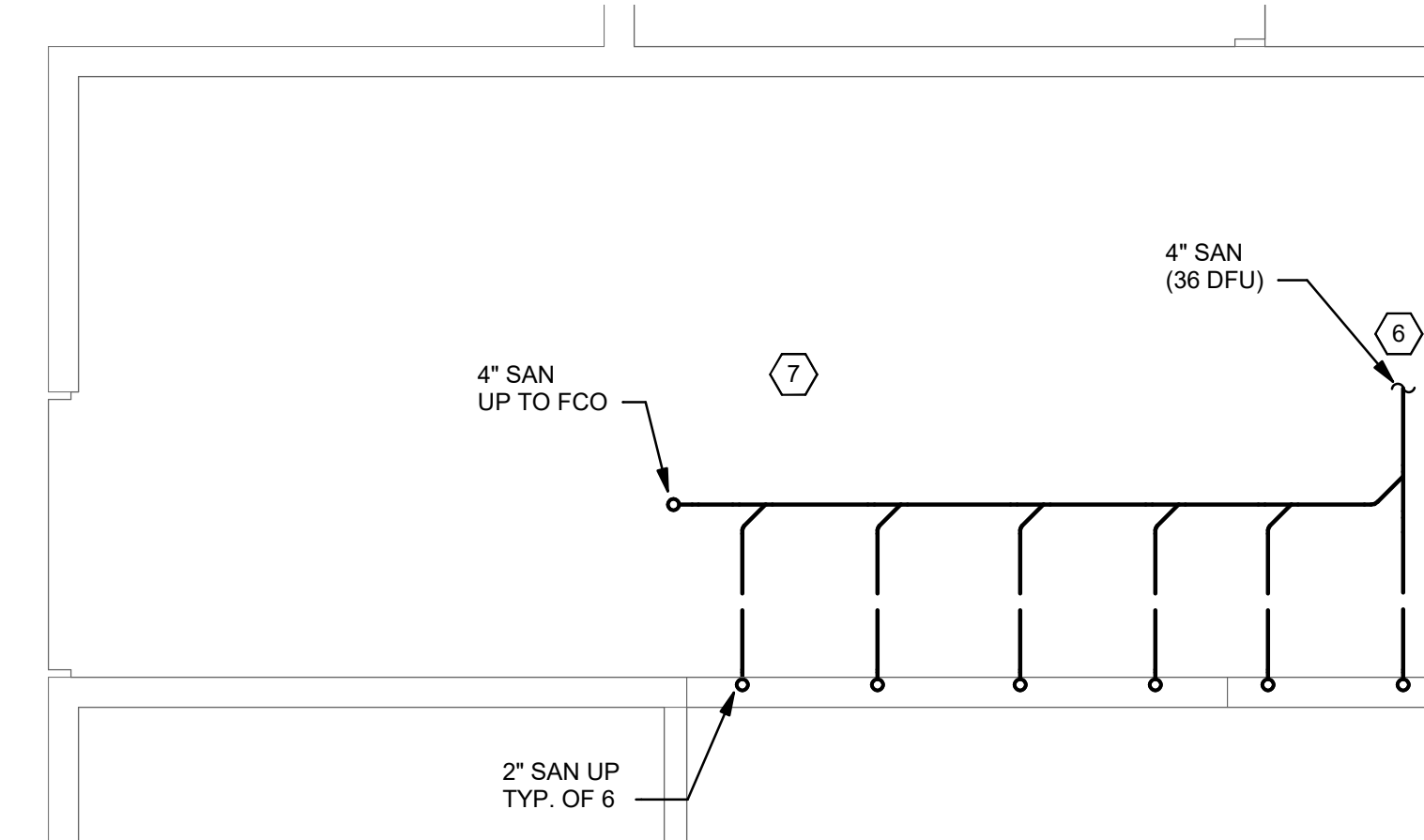


2 ENLARGED FLOOR PLAN TYPE A UNIT - PLUMBING

Water hammer 609.11



3 ENLARGED PLAN - LAUNDRY ROOM - PLUMBING



4 ENLARGED PLAN - LAUNDRY ROOM - UNDERGROUND - PLUMBING

Must comply with all national and state adopted codes

HAVEN LIVING

3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE

ENLARGED ACCESSIBLE
UNIT PLANS - PLUMBING

REVISIONS

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CHECKED

JMM

JOB NO.

022-1372

DATE

3/31/2023

SHEET NUMBER

P4.1

NOTE: This is a standard symbol list and not all items listed may be used.


Abbreviations

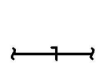
AFF ABOVE FINISHED FLOOR
AD ACCESS DOOR
AC AIR CONDITION(ED)
AHU AIR HANDLING UNIT
BDD BACKDRAFT DAMPER
BFF BELOW FINISHED FLOOR
BHP BRAKE HORSEPOWER
CL CENTERLINE
COP COEFFICIENT OF PERFORMANCE
CD CONDENSATE DRAIN
CU CONDENSING UNIT
CONT. CONTINUATION
CFM CUBIC FEET PER MINUTE
DB DECIBEL
DP DEW POINT, DIFFERENTIAL PRESSURE
DIA DIAMETER
DX DIRECT EXPANSION
D DROP
DB DRY BULB
EFF EFFICIENT
ELECT ELECTRICAL
EL ELEVATION
EER ENERGY EFFICIENCY RATING
EAT ENTERING AIR TEMPERATURE
EXH EXHAUST
EF EXHAUST FAN
(E) EXISTING
F FAHRENHEIT
FC FAN COIL
FT FEET
FPM FEET PER MINUTE
FPI FINS PER INCH
FD FIRE DAMPER
FLA FULL LOAD AMPS
GAL GALLONS
GPM GALLONS PER MINUTE
HX HEAT EXCHANGER
HTG HEATING
HP HORSEPOWER
IN INCHES
KW KILOWATT
LH LATENT HEAT
LAT LEAVING AIR TEMPERATURE
LWT LEAVING WATER TEMPERATURE
MAX MAXIMUM
MIN MINIMUM
MA MIXED AIR
NC NOISE CRITERIA
N/A NOT APPLICABLE
NIC NOT IN CONTRACT
NTS NOT TO SCALE
NO. NUMBER
OC ON CENTER
OBD OPPOSED BLADE DAMPER
OA OUTSIDE AIR
OSA OUTSIDE AIR
PH PHASE
LBS. POUNDS
PSI POUNDS PER SQUARE INCH
PD PRESSURE DROP
QTY QUANTITY
REF REFRIGERANT
RL REFRIGERANT LIQUID
RS REFRIGERANT SUCTION
RH RELATIVE HUMIDITY
RET RETURN
RA RETURN AIR
RPM REVOLUTIONS PER MINUTE
R RISE
SEER SEASONAL ENERGY EFFICIENCY RATING
SH SENSIBLE HEAT
SF SQUARE FEET
SP STATIC PRESSURE
SA SUPPLY AIR
T, TEMP TEMPERATURE
MBH THOUSAND BTU'S PER HOUR
TH TOTAL HEAT
TP TOTAL PRESSURE
VEL VELOCITY
V VOLT
VD VOLUME DAMPER (HAND OPERATOR)
WC WATER COLUMN
W WATT
WB WET BULB
W WITH
WO WITHOUT

Control Symbols

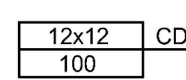
 AC-1 ROOM THERMOSTAT


Dampers

 FIRE DAMPER

 VOLUME DAMPER

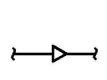
Diffusers and Grilles

 DIFFUSER OR GRILLE IDENTIFICATION

 EXHAUST AIR

 SUPPLY AIR

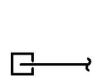
Ductwork Fittings

 CONCENTRIC SQUARE TO ROUND

 CONCENTRIC TRANSITION, RECTANGULAR OR ROUND

 ECCENTRIC TRANSITION, RECTANGULAR OR ROUND

 FLEXIBLE CONNECTION

 RECTANGULAR DUCT DROP

 RECTANGULAR DUCT RISER

 RECTANGULAR MAIN WITH RECTANGULAR BRANCH

 RECTANGULAR MAIN WITH ROUND BRANCH

 RECTANGULAR OFFSET LESS THAN 15% $\%d$

 RECTANGULAR OFFSET MORE THAN 15% $\%d$

 ROUND DUCT DROP


 ROUND DUCT RISER

 ROUND DUCT WITH ROUND BRANCH


 MITERED ELBOW WITH TURNING VANES

 RADIUSED ELBOW

General


 DETAIL NUMBER AND SHEET LOCATION


 EQUIPMENT IDENTIFICATION

 KEYED NOTE

 LIMIT OF DEMOLITION

 POINT OF CONNECTION

 SECTION NUMBER AND SHEET LOCATION


 EXISTING WORK

 NEW WORK

 RECTANGULAR DUCT SIZING

 ROUND DUCT SIZING

Piping Fittings, Appurtenances and Equipment

 CONTINUATION

 FLEXIBLE CONNECTION

 FLOW DIRECTION

 PIPE DROP

 PIPE RISE

Piping Systems

 REFRIGERANT LIQUID

 REFRIGERANT SUCTION

GENERAL MECHANICAL NOTES

- A. COORDINATE INSTALLATION OF DUCTWORK, PIPING, FIXTURES, EQUIPMENT, ETC. WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND FIRE PROTECTION SYSTEMS PRIOR TO INSTALLATION.
- B. PROVIDE CEILING ACCESS PANELS FOR ALL DUCT DAMPERS OR CONCEALED VOLUME DAMPER REGULATORS LOCATED ABOVE INACCESSIBLE CEILING SYSTEMS. MAINTAIN FIRE RATINGS WHERE REQUIRED.
- C. INSTALL THERMOSTATS AT 4'-0" A.F.F. PER ADA REQUIREMENTS UNLESS OTHERWISE NOTED ON DRAWINGS. 4'-0" DIMENSION TO BE TO THE TOP OF THE THERMOSTAT.
- D. COORDINATE EXACT LOCATION OF ALL CEILING GRILLES AND DIFFUSERS WITH ARCHITECTURAL REFLECTED CEILING PLAN, ARCHITECTURAL INTERIOR ELEVATIONS, LIGHTING, AND STRUCTURAL CONDITIONS. ARCHITECTURAL PLANS TO PROVIDE FINAL GRILLE AND DIFFUSER LOCATIONS IN THE EVENT OF A CONFLICT.
- E. ALL WORK PERFORMED AND MATERIAL SUPPLIED SHALL CONFORM TO ALL STATE AND LOCAL CODES AND ALL OTHER APPLICABLE LAWS AND STATE REGULATIONS INCLUDING APPLICABLE SEISMIC ZONE REQUIREMENTS.
- F. MAINTAIN ALL OUTSIDE AIR INTAKE OPENINGS MINIMUM 10'-0" FROM ALL MECHANICAL VENTS, PLUMBING VENTS AND EXHAUST FANS.
- G. CONTRACTOR TO TEMPORARILY INSTALL 2" THICK 60% EFFICIENT FILTERS AT ALL RETURN AIR GRILLE LOCATIONS. FILTERS TO BE REMOVED AT CONCLUSION OF CONSTRUCTION.
- H. PAINT ALL DIFFUSERS, REGISTERS AND GRILLES PER ARCHITECTURAL INSTRUCTIONS. ANY GRILLES INSTALLED IN GYPSUM BOARD WALLS AND CEILINGS ARE TO BE FURNISHED WITH FACTORY MILL OR PRIMER FINISH, READY FOR PAINTING IN THE FIELD.
- I. DIFFUSER/GRILLE RUNOUTS ARE SAME SIZE AS DIFFUSER/GRILLE NECK SIZE UNLESS OTHERWISE NOTED ON PLANS.
- J. MAINTAIN REQUIRED CLEARANCES TO COMBUSTIBLE CONSTRUCTION AS SPECIFIED IN THE LISTING AND MANUFACTURER'S INSTRUCTIONS.
- K. EQUIPMENT TO BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER EQUIPMENT, VENTING SYSTEMS, PIPING, OR DUCTS CONNECTED TO THE EQUIPMENT BEING SERVICED.
- L. MAINTAIN MINIMUM DISTANCE OF 3'-0" BETWEEN ALL EXHAUST OUTLETS AND DOORS/OPERABLE WINDOWS.
- M. PROVIDE ONE BALANCING DAMPER FOR EACH AIR INLET/ OUTLET SHOWN ON PLAN. WHERE DAMPER IS LOCATED ABOVE A HARD LID CEILING, PROVIDE REMOTE CABLE CONTROL FOR DAMPER.
- N. FOR ALL DUCT CONNECTIONS TO MECHANICAL EQUIPMENT, PROVIDE TRANSITION FROM DUCT SIZE SHOWN TO EQUIPMENT CONNECTION SIZE.
- O. ADJUST THROW OF ALL AIR DEVICES TO NOT INTERFERE WITH LIGHTING.
- P. INSTALL ALL EQUIPMENT SUCH THAT MANUFACTURER RECOMMENDED CLEARANCES ARE MAINTAINED.
- Q. DETAILS APPLY WHETHER REFERENCED ON THE DRAWINGS OR NOT.
- R. INSTALL 1.5X RADIUS ELBOWS WHERE SPACE ALLOWS. OTHERWISE INSTALL MITERED ELBOWS WITH TURNING VANES CONSISTENT WITH SPECIFICATIONS.
- S. DUCTS, PIPING, AND EQUIPMENT TO BE INSTALLED AS HIGH AS POSSIBLE IN SPACES UNLESS OTHERWISE NOTED.
- T. COORDINATE WITH STRUCTURAL DRAWINGS FOR ALL SLAB AND WALL PENETRATIONS.
- U. SUPPORT EQUIPMENT, DUCTS, PIPING AS SPECIFIED AND AS SHOWN IN DETAILS. ENSURE EQUIPMENT WILL OPERATE WITHOUT OBJECTIONABLE VIBRATION AND NOISE.
- V. WHERE THE INSIDE OF DUCTS ARE VISIBLE FROM GRILLES OR DIFFUSERS, PAINT VISIBLE PORTION OF INSIDE OF DUCT FLAT BLACK.
- W. PENETRATIONS THRU RATED ASSEMBLIES TO BE APPROPRIATELY SEALED.



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SHEET TITLE

SYMBOL LIST AND
GENERAL NOTES -
MECHANICAL

REVISIONS

DRAWN BY
PHH

CHECKED BY
JMM

JOB NO.
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DATE
03/31/2023

SHEET NUMBER

M0.1

SHEET INDEX

M0.1	SYMBOL LIST AND GENERAL NOTES - MECHANICAL
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M4.1	ENLARGED ACCESSIBLE UNIT PLANS - MECHANICAL
M7.1	DETAILS - MECHANICAL



PACKAGED ROOFTOP AIR HANDLER UNIT SCHEDULE

PACKAGED ROOFTOP AIR HANDLER UNIT SCHEDULE																																					
BASIS OF DESIGN				SUPPLY FAN								DX COOLING COIL										GAS FURNACE				FILTER		ELECTRICAL				SMOKE	APPROX.	MAX			
SYMBOL	AREA SERVED	MFR	MODEL	TOTAL CFM	MIN OSA CFM	ESP (IN H2O)	FAN TYPE	FAN BHP	FAN MHP	FAN RPM	VFD (Y/N)	TOTAL CAP (MBH)	SENS CAP (MBH)	EDB (°F)	EWB (°F)	COIL LAT		HGRH (MBH)	DOAS LAT		FACE VELOCITY (FPM)	APD (IN H2O)	INPUT (MBH)	OUTPUT (MBH)	TURN DOWN	EAT (°F)	LAT (°F)	EFF MERV	VOLTS	PH	MCA	MOCP	DETECT. (Y/N)	DIMS (LxWxH)	WT (LBS)	NOTES	
DOAS-01	SOUTH INT APTS	GREENHECK	RV-10-SI-G-E1	1800	1800	1	PLENUM	0.7	3/4	1950	Y	63.7	41.7	92	58	55	54.5	39.7	75	62	500	0.2	154	123	16:1	0	70	8	460	3	13.8	20	N	88x44x58	1200	1, 2, 3, 4, 5, 6	
DOAS-02	NORTH INT APTS	GREENHECK	RV-10-SI-G-E1	1650	1650	1	PLENUM	0.64	3/4	1834	Y	58.4	38.2	92	58	55	54.5	36.4	75	62	500	0.2	154	123	16:1	0	70	8	460	3	13.8	20	N	88x44x58	1200	1, 2, 3, 4, 5, 6	
RTU-01	ENTRY/ADMIN	TRANE	YSJ072	2600	420	1	PLENUM	0.86	3	1086	Y	66	66	77.8	61.2	55	53.4	-	-	-	500	0.2	150	121.5	10:1	40	85	8	460	3	18	20	Y	88x53x53	1170	1, 2, 3, 7	
RTU-02	COMMON AREA	TRANE	YHC036	1300	305	1	CENTRIFUGAL	0.81	3/4	1121	Y	35	35	79	61	55	52.5	-	-	-	500	0.2	120	96	10:1	36	85	8	460	3	10	15	Y	70x44x36	770	1, 2, 3, 7	
RTU-03	NORTH STORAGE	TRANE	YSJ150	4600	1210	1	PLENUM	1.87	3	1400	Y	124	124	79.5	60.9	55	52.5	-	-	-	500	0.2	250	202.5	10:1	33	85	8	460	3	33	45	Y	99x63x52	1530	1, 2, 3, 7	
RTU-04	SOUTH STORAGE	TRANE	YSJ072	2200	535	1	PLENUM	0.7	3	1022	Y	59	59	79.2	60.9	55	52.5	-	-	-	500	0.2	150	121.5	10:1	35	85	8	460	3	18	20	Y	88x53x53	1170	1, 2, 3, 7	
RTU-05	GYM	TRANE	YSJ072	2200	760	1	PLENUM	0.7	3	1022	Y	63	63	80.8	60.5	55	51.4	-	-	-	500	0.2	150	121.5	10:1	21	85	8	460	3	18	20	Y	88x53x53	1170	1, 2, 3, 7	
NOTES:																																					
1) SIZE UNITS FOR ELEVATION OF 6,500 FT ABOVE SEA LEVEL.																																					
2) PROVIDE UNIT WITH FULLY PACKAGED DDC CONTROLS, CAPABLE OF STAND ALONE OPERATION.																																					
3) PROVIDE FACTORY MOUNTED AND WIRED 110 V POWER SUPPLY FOR LIGHTING AND RECEPTACLES																																					
4) PROVIDE UNIT WITH DEHUMIDIFICATION AND HOT GAS REHEAT, SIZED TO PROVIDE NEUTRAL AIR CONDITIONS AS INDICATED.																																					
5) PROVIDE WITH FACTORY ROOF CURB.																																					
6) PROVIDE WITH TYPE 409 STAINLESS STEEL HEAT EXCHANGER, DESIGNED FOR 100% OUTSIDE AIR OPERATION.																																					
7) UNIT LOCATED ON EXISTING ROOF CURB. FIELD VERIFY EXISTING ROOF CURB DIMENSIONS AND PROVIDE CURB ADAPTER TO MOUNT NEW RTU ON EXISTING CURB. PROVIDE THROUGH-THE-CURB ELECTRICAL CONNECTIONS.																																					

OUTSIDE AIR VENTILATION SCHEDULE - COMMON AREAS

HVAC UNIT	ROOM	Az NET OCCUPIABLE FLOOR AREA (SF)	DEFAULT OCCUPANT DENSITY (PEOPLE)	Rp PEOPLE OUTDOOR AIR RATE (CFM / PERSON)	Ra AREA OUTDOOR AIR FLOW RATE (CFM/SQ FT)	Pz DEFAULT ZONE POPULATION	Pz ACTUAL ZONE POPULATION	Vbz BREATHING ZONE OUTDOOR AIRFLOW (CFM)	EZ ZONE AIR DISTRIBUTION EFFECTIVENESS	Voz ZONE OUTDOOR AIRFLOW (CFM)	OSA PROVIDED (CFM)
RTU-05	YOGA	385	40	20.00	0.06	16	10	223	1.0	223	225
RTU-05	GYM	2040	10	20.00	0.06	21	15	422	1.0	422	430
RTU-05	MUSIC	420	50	5.00	0.06	21	15	100	1.0	100	105
RTU-04	SOUTH STORAGE	4425	0	0.00	0.12	0	0	531	1.0	531	535
RTU-03	NORTH STORAGE	10050	0	0.00	0.12	0	0	1,206	1.0	1,206	1,210
RTU-02	COMMON AREA/STORAGE	2540	0	0.00	0.12	0	0	305	1.0	305	305
RTU-01	OFFICE 1 & 2	450	5	5.00	0.06	3	3	42	1.0	42	45
RTU-01	RECEPTION	180	30	5.00	0.06	6	3	26	1.0	26	30
RTU-01	OFFICE 3	125	5	5.00	0.06	1	1	13	1.0	13	15
RTU-01	MAILROOM	115	5	5.00	0.06	1	1	12	1.0	12	15
RTU-01	LOBBY	500	30	7.50	0.06	15	8	90	1.0	90	90
RTU-01	LOBBY CORRIDOR	1670	0	0.00	0.06	0	0	100	1.0	100	100
RTU-01	CONFERENCE ROOM	390	50	5.00	0.06	20	12	83	1.0	83	125
DOAS-01/02	LEVEL 1 APT CORRIDOR	5400	0	0.00	0.06	0	0	324	1.0	324	350
DOAS-01/02	LEVEL 2 APT CORRIDOR	5800	0	0.00	0.06	0	0	348	1.0	348	350
NOTES: 1) MINIMUM VENTILATION RATES CALCULATED IN ACCORDANCE WITH SECTION 402.0 OF THE 2021 NEW MEXICO MECHANICAL CODE.											

OUTSIDE AIR VENTILATION SCHEDULE - APARTMENTS

HVAC UNIT	ROOM	Az NET OCCUPIABLE FLOOR AREA (SF)	Rp PEOPLE OUTDOOR AIR RATE (CFM / PERSON)	Ra AREA OUTDOOR AIR FLOW RATE (CFM/SQ FT)	Pz ZONE POPULATION	Vbz BREATHING ZONE OUTDOOR AIRFLOW (CFM)	EZ ZONE AIR DISTRIBUTION EFFECTIVENESS	Voz ZONE OUTDOOR AIRFLOW (CFM)	OSA PROVIDED (CFM)
PTHP	STUDIO (EXTERIOR)	377	5.00	0.06	2	33	1.0	33	UP TO 65
DOAS	STUDIO (INTERIOR)	377	5.00	0.06	2	33	1.0	33	50
PTHP	STUDIO ADA (EXTERIOR)	375	5.00	0.06	2	33	1.0	33	UP TO 65
DOAS	STUDIO ADA (INTERIOR)	375	5.00	0.06	2	33	1.0	33	50
NOTES: 1) MINIMUM VENTILATION RATES CALCULATED IN ACCORDANCE WITH SECTION 402.0 OF THE 2021 NEW MEXICO MECHANICAL CODE FOR RESIDENTIAL DWELLING UNITS.									

EXHAUST VENTILATION SCHEDULE

HVAC UNIT	ROOM	NET OCCUPIABLE FLOOR AREA (SF)	EXHAUST AIRFLOW RATE (CFM/SF)	# OF UNITS	EXHAUST AIRFLOW RATE (CFM/UNIT)	REQUIRED EXHAUST AIRFLOW (CFM)	PROVIDED EXHAUST AIRFLOW (CFM)
CEF-01	RESIDENTIAL - KITCHEN	-	-	1.00	100	100	**100
(E) PRV	TOILETS - PRIVATE	-	-	1.00	25	25	**60
NOTES: 1) MINIMUM VENTILATION RATES CALCULATED IN ACCORDANCE WITH SECTION 402.0 OF THE 2021 NEW MEXICO MECHANICAL CODE (NMMC) FOR RESIDENTIAL DWELLING UNITS. *2) KITCHEN EXHAUST RATE BASED ON INTERMITTENT OPERATION, CONTROLLABLE BY OCCUPANT. EXHAUST TO BE PROVIDED BY OVERHEAD MICROWAVE VENT, LISTED FOR RECIRCULATION, AS REQUIRED BY NMMC 405.4. REFER TO ARCHITECTURAL FOR APPLIANCE SELECTION AND REQUIREMENTS. **3) TOILET EXHAUST RATE BASED ON CONTINUOUS OPERATION. EXHAUST PROVIDED BY EXISTING TO REMAIN, CONTINUOUSLY OPERATING, POWERED ROOF VENTILATORS.							

CONDENSING UNIT SCHEDULE

		BASIS OF DESIGN		AIR SOURCE HEAT PUMP CONDENSER										ELECTRICAL				APPROX. DIMS (LxWxH)	MAX WT (LBS)	NOTES
SYMBOL	AREA SERVED	MFR	MODEL	ASSOC FAN	TONS NOM TONS	QTY OF COMPRESSORS	COMPRESSOR TYPE	CAP (MBH)	AMBIENT DB (°F)	SEER	CAP (MBH)	AMBIENT WB (°F)	HSPF	VOLTS	PH	MCA	MOCP			
CU-01	INTERIOR UNITS	LG	LSU090HSV5	FC-01	0.75	1	WALL	CU-01	300	0.75	9	75	60	55	54	10.9	208	1	10	15
NOTES: 1) OUTDOOR UNIT TO PROVIDE POWER TO INDOOR UNIT.																				1

FAN COIL SCHEDULE

		BASIS OF DESIGN		FAN COIL SCHEDULE										ELECTRICAL				APPROX. DIMS (LxWxH)	MAX WT (LBS)	NOTES
SYMBOL	AREA SERVED	MFR	MODEL	UNIT TYPE	ASSOC CU	FAN TOTAL CFM	NOM TONS	TOTAL CAP (MBH)	EDB (°F)	EWB (°F)	LDB (°F)	LWB (°F)	HEAT PUMP HTG (MBH)	VOLTS	PH	MCA	MOCP			
FC-01	INTERIOR UNITS	LG	LSN090HSV5	WALL	CU-01	300	0.75	9	75	60	55	54	10.9	208	1	10	15	33x8x12	25	1, 2, 3
NOTES: 1) PROVIDE WITH WIRELESS REMOTE THERMOSTAT, LOCATED PER PLANS. 2) PROVIDE UNIT WITH INTEGRAL CONDENSATE PUMP. 3) OUTDOOR UNIT TO PROVIDE POWER FOR INDOOR UNIT.																				

PACKAGED TERMINAL HEAT PUMP (PTHP) UNIT SCHEDULE

PACKAGED TERMINAL HEAT PUMP (PTHP) UNIT SCHEDULE																		
SYMBOL	AREA SERVED	BASIS OF DESIGN		SUPPLY FAN CFM	DX COOLING COIL		HEAT PUMP HTG (MBH)	AUX HTG (KW)	STAGES	HEAT PUMP EFFICIENCY		REFRIGERANT	ELECTRICAL				MAX WT (LBS)	NOTES
		MFR	MODEL		NOM TONS	TOTAL CAP (MBH)				COOLING EER	HEATING COP		VOLTS	PH	MCA	MOCP		
PTHP-01	NORTH UNITS	AMANA	PTH-09	340	3/4	9	8.3	2.1	1	12	3.4	R-410	208	1	14.1	15	150	1,2,3,4,5,6
PTHP-02	SOUTH UNITS	AMANA	PTH-12	340	1	12	11.5	2.9	1	11	3.1	R-410	208	1	19.5	20	150	1,2,3,4,5,6
PTHP-03	WEST UNITS	AMANA	PTH-15	390	1-1/3	14.7	13.8	4.1	1	9.7	3.0	R-410	208	1	27.6	30	150	1,2,3,4,5,6
NOTES:																		
1)		PROVIDE WITH WIRELESS REMOTE THERMOSTAT (DSA01NM), LOCATED PER PLANS.																
2)		PROVIDE WITH CONDENSATE DISPERSION SYSTEM.																
3)		COORDINATE POWER CORD CONFIGURATION WITH DIVISION 26.																
4)		PROVIDE WITH STANDARD PTAC SLEEVE (WS900E) WITH CONDENSATE DRAIN KIT (DK900D).																
5)		PROVIDE WITH STANDARD OUTDOOR GRILLE.																
6)		PROVIDE WITH POWER VENT KIT, CONFIGURED TO OPERATE 24/7/365 FOR CONTINUOUS VENTILATION AIR, UP TO 95 CFM, TO UNIT.																

DIFFUSER, REGISTER AND GRILLE SCHEDULE

SYMBOL	TYPE	FACE	FRAME	DAMPER	FINISH	BASIS OF DESIGN	NOTES
CG-1	CEILING SUPPLY GRILLE	MODULAR PERFORATED	LAY-IN	NONE	WHITE	PRICE PDMC	1
CRG-1	CEILING RETURN GRILLE	PERFORATED	LAY-IN	NONE	WHITE	PRICE PDDR	1
SG-1	SIDEWALL SUPPLY GRILLE	3/4" BAR SPACING, 0 DEG. DEFL.	1/4" BORDER	OBD	WHITE	PRICE 520	2
RG-1	SIDEWALL RETURN GRILLE	3/4" BAR SPACING, 0 DEG. DEFL.	1/4" BORDER	NONE	WHITE	PRICE 535	2
TG-1	SIDEWALL TRANSFER GRILLE	3/4" BAR SPACING, 0 DEG. DEFL.	1/4" BORDER	NONE	WHITE	PRICE 535	
NOTES: 1) PROVIDE FINISH TO MATCH EXPOSED DUCTWORK. 2) PROVIDE FIRE RATED ASSEMBLY OPTION WHERE INDICATED WITH A FIRE DAMPER ON PLANS.							

LOUVER SCHEDULE

		BASIS OF DESIGN		LOUVER SCHEDULE				FRAME SIZE		NOTES
SYMBOL	AREA SERVED	MFR	MODEL	TYPE	AIR FLOW (CFM)	MAX APD (IN H2O)	MIN FREE AREA (SQ FT)	WIDTH (IN)	HEIGHT (IN)	
L-01	LAUNDRY	RUSKIN	ELF637SDX	STATIONARY	-	-	34	48	12	1
NOTES: 1) COORDINATE WITH ARCHITECT/OWNER FOR FINAL COLOR SELECTION.										

SHEET TITLE

SCHEDULES -
MECHANICAL

REVISIONS

DRAWN BY
PHH

CHECKED BY
JMM

JOB NO.
2022-1372

DATE
03/31/2023

SHEET NUMBER

M0.2

GENERAL SHEET NOTES

A. VERIFY LOCATIONS, DIMENSIONS, ELEVATIONS, ETC. OF EXISTING UTILITIES. CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE BUT ARE SUBJECT TO VERIFICATION. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT OF CONDITION IN CONFLICT WITH THE PLANS.



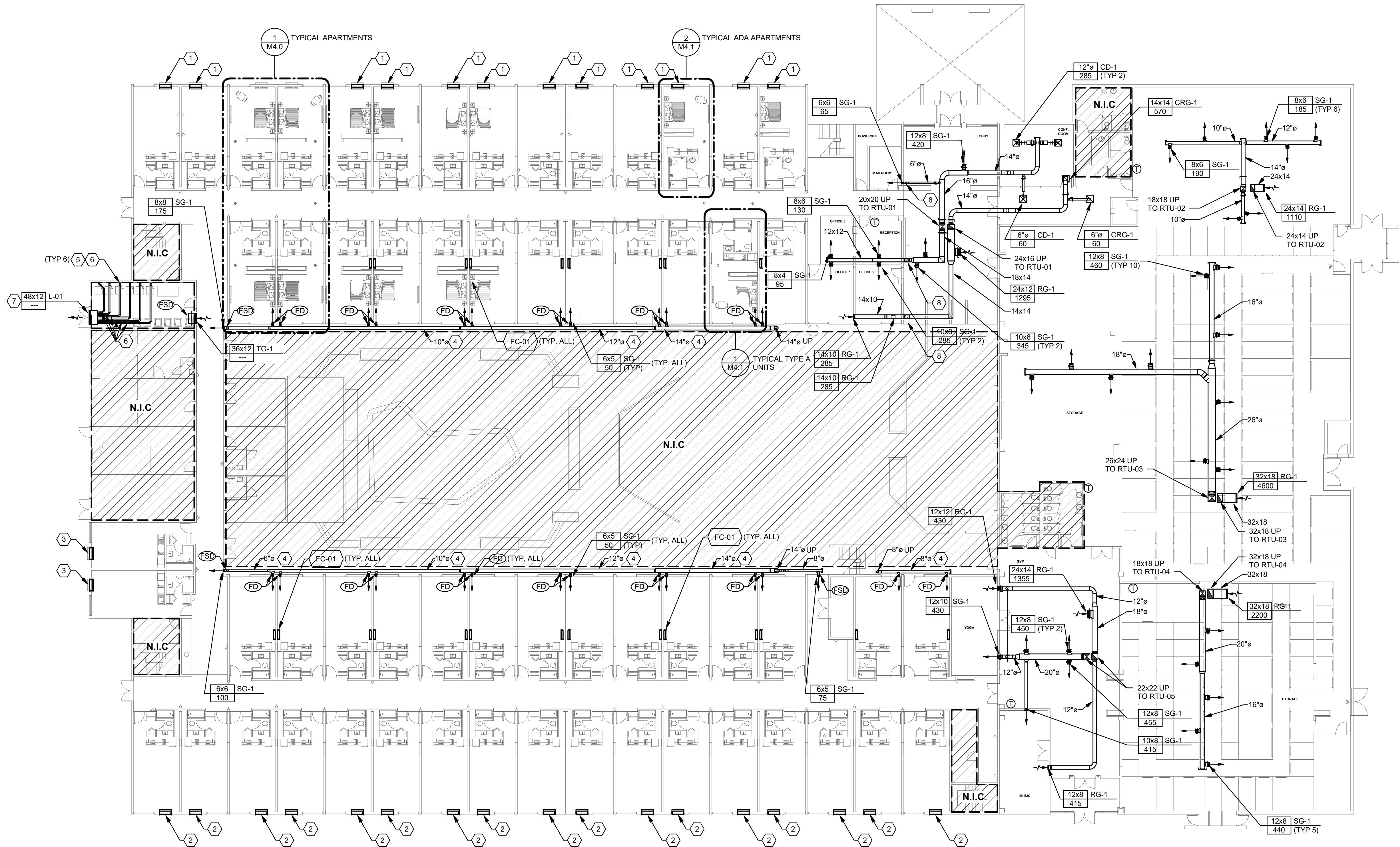
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SHEET KEYNOTES

1. PROVIDE PTHP-01 FOR NORTH FACING PERIMETER APARTMENTS. REFER TO DETAIL 1M7.1.
2. PROVIDE PTHP-02 FOR SOUTH FACING PERIMETER APARTMENTS. REFER TO DETAIL 1M7.1.
3. PROVIDE PTHP-03 FOR WEST FACING PERIMETER APARTMENTS. REFER TO DETAIL 1M7.1.
4. INSTALL BOTTOM OF DUCTWORK ABOVE TOP OF WINDOW GLAZING SO DUCT IS NOT VISIBLE FROM INSIDE OF UNIT.
5. PROVIDE 6 NEW DRYER EXHAUST CONNECTIONS. REFER TO DETAIL M7.1. PROVIDE MAKE-UP AIR THROUGH TRANSFER GRILLE FROM CORRIDOR. PROVIDE EXHAUST AIR LOUVER AND PLENUM. ROUTE ALL DRYER EXHAUST FROM DRYER, UP THROUGH WALL, TO ABOVE CEILING SPACE. AND OVER TO EXHAUST AIR PLENUM. TERMINATE AT PLENUM WITH BACKDRAFT DAMPER.
6. CONSTRUCT DRYER EXHAUST DUCT WITH ALUMINUM SHEET METAL, MINIMUM 24 GAUGE. SUBSTANTIALLY AIRTIGHT DUCT EXCEPT FOR OPENINGS REQUIRED FOR OPERATION AND MAINTENANCE. DUCT TO HAVE SMOOTH INTERIOR SURFACE. DO NOT ASSEMBLE WITH SHEET METAL SCREENS, SCREWS, OR OTHER DEVICES THAT EXTEND INTO THE AIRSTREAM.
7. PROVIDE 2" DEEP PLENUM ON BACK OF LOUVER. PROVIDE CONICAL CONNECTIONS FROM DRYER EXHAUST DUCT TO LOUVER. ALIGN LOUVER, CENTERLINE TO CENTERLINE, ABOVE DOOR BELOW. PROVIDE HINGE ACCESS ON LOUVER FOR LINT REMOVAL. NO SCREENS ARE PERMITTED.
8. OFFSET DUCT DOWN, BELOW LOWER LEVEL CEILING, UNDER SECOND FLOOR APARTMENTS. AFFIX DUCT TIGHT TO WALL.



1 FIRST FLOOR PLAN - MECHANICAL
0' 8' 16' 32'
1/16" = 1'-0"

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SHEET TITLE
FIRST FLOOR PLAN -
MECHANICAL

REVISIONS	

DRAWN BY PHH
CHECKED BY JMM
JOB NO. 2022-1372
DATE 03/31/2023
SHEET NUMBER

M1.0

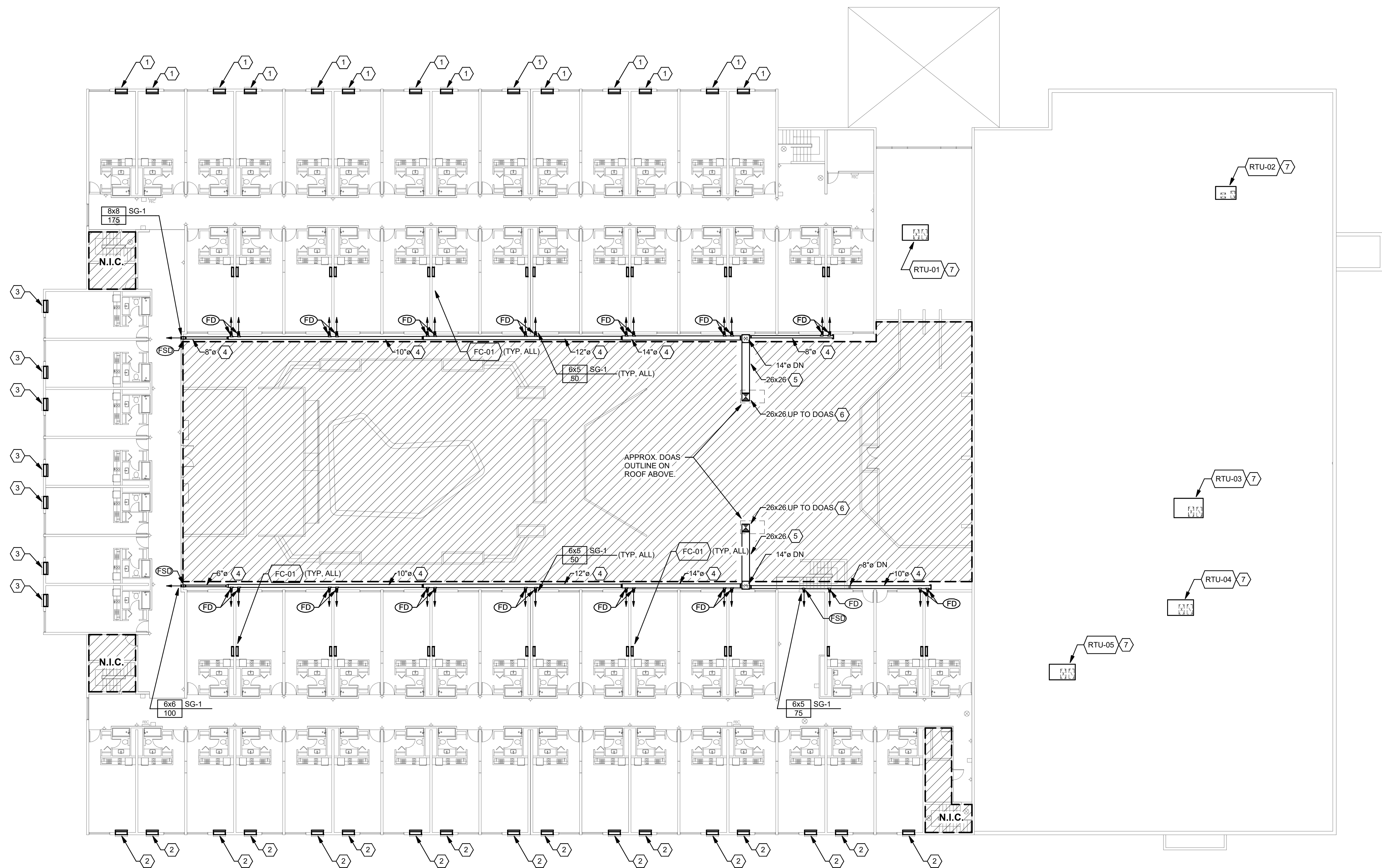


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A. VERIFY LOCATIONS, DIMENSIONS, ELEVATIONS, ETC. OF EXISTING CONDITIONS AND UTILITIES. CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE BUT ARE SUBJECT TO VERIFICATION. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT OF CONDITION IN CONFLICT WITH THE PLANS.

1. PROVIDE PTHP-01 FOR NORTH FACING PERIMETER APARTMENTS. REFER TO DETAIL 1/MT.1.
2. PROVIDE PTHP-02 FOR SOUTH FACING PERIMETER APARTMENTS. REFER TO DETAIL 1/MT.1.
3. PROVIDE PTHP-03 FOR WEST FACING PERIMETER APARTMENTS. REFER TO DETAIL 1/MT.1.
4. INSTALL BOTTOM OF DUCTWORK ABOVE TOP OF WINDOW GLAZING SO DUCT IS NOT VISIBLE FROM INSIDE OF UNIT.
5. INSTALL DUCT IN BETWEEN STRUCTURAL FRAMING, TIGHT TO UNDERSIDE OF ROOF ABOVE. FOLLOWING ANGLE OF ROOF.
6. COORDINATE FINAL LOCATION OF DOAS ABOVE WITH EXISTING STRUCTURE. LOCAL DOAS DISCHARGE IS CENTERED BETWEEN STRUCTURAL MEMBERS. DETERMINE LOAD CAPACITY OF EXISTING STRUCTURE AND PROVIDE ADDITIONAL STRUCTURAL REINFORCEMENT AS REQUIRED TO SUPPORT INSTALL DOAS.
7. LOCATE RTU AT EXISTING ROOF CURB AND OPENING. FIELD VERIFY EXISTING CURB DIMENSIONS. PROVIDE CURB ADAPTER TO MOUNT NEW RTU ON EXISTING CURB.



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SHEET TITLE

SECOND FLOOR PLAN - MECHANICAL

REVISIONS

DRAWN BY PHH

CHECKED BY JMM

JOB NO. 2022-1372

DATE 03/31/2023

SHEET NUMBER

M1.1

GENERAL SHEET NOTES

- A. VERIFY LOCATIONS, DIMENSIONS, ELEVATIONS, ETC. OF EXISTING CONDITIONS AND UTILITIES. CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE BUT ARE SUBJECT TO VERIFICATION. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT OF CONDITION IN CONFLICT WITH THE PLANS.

SHEET KEYNOTES

1. ALIGN DOAS WITH EXISTING TO REMAIN ROOFTOP AHUS. COORDINATE FINAL LOCATION OF DOAS WITH EXISTING STRUCTURE BELOW. LOCATE SO DOAS DISCHARGE IS CENTERED BETWEEN STRUCTURAL MEMBERS. DETERMINE LOAD CAPACITY OF EXISTING STRUCTURE AND PROVIDE ADDITIONAL STRUCTURAL REINFORCEMENT AS REQUIRED TO SUPPORT DOAS INSTALLATION.
2. DEMOLISH EXISTING CURB SUPPORTING PREVIOUS CONDENSING UNIT COMPLETE. PROVIDE AND INSTALL CURBS FOR NEW CONDENSING UNITS PER DETAIL 2/M7.1.
3. EXISTING POWER ROOF VENTILATOR SERVING UNIT TOILET EXHAUST TO REMAIN. INSPECT, SERVICE, AND REBALANCE EXISTING EQUIPMENT AS REQUIRED FOR PROPER OPERATION AND TO EXHAUST 60 CFM FROM EACH TOILET ROOM.
4. ROUTE RS, RL, COMMUNICATIONS, AND POWER PIPING/CONDUIT FROM CU TO ROOF JACK PENETRATION. SUPPORT ALL PIPING PER DETAIL 5/M7.1. PROVIDE INSULATION AND ALUMINUM JACKETING ON ALL REFRIGERANT PIPING EXPOSED TO WEATHER.
5. COORDINATE ROOF PENETRATION LOCATIONS TO ALIGN WITH CHASE BELOW. PROVIDE ROOF JACK FOR WEATHERPROOFING PER DETAIL 6/M7.1 AT ALL ROOF PENETRATION LOCATIONS.



1 ROOF PLAN - MECHANICAL

0' 8' 16' 32'
1/16" = 1'-0"

HAVEN LIVING
3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE

ROOF PLAN -
MECHANICAL

REVISIONS

DRAWN BY
PHH

CHECKED BY
JMM

JOB NO.
2022-1372

DATE
03/31/2023

SHEET NUMBER

M1.2

GENERAL SHEET NOTES

- A. VERIFY LOCATIONS, DIMENSIONS, ELEVATIONS, ETC. OF EXISTING CONDITIONS AND UTILITIES. CONDITIONS SHOWN ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE BUT ARE SUBJECT TO VERIFICATION. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT OF CONDITION IN CONFLICT WITH THE PLANS.



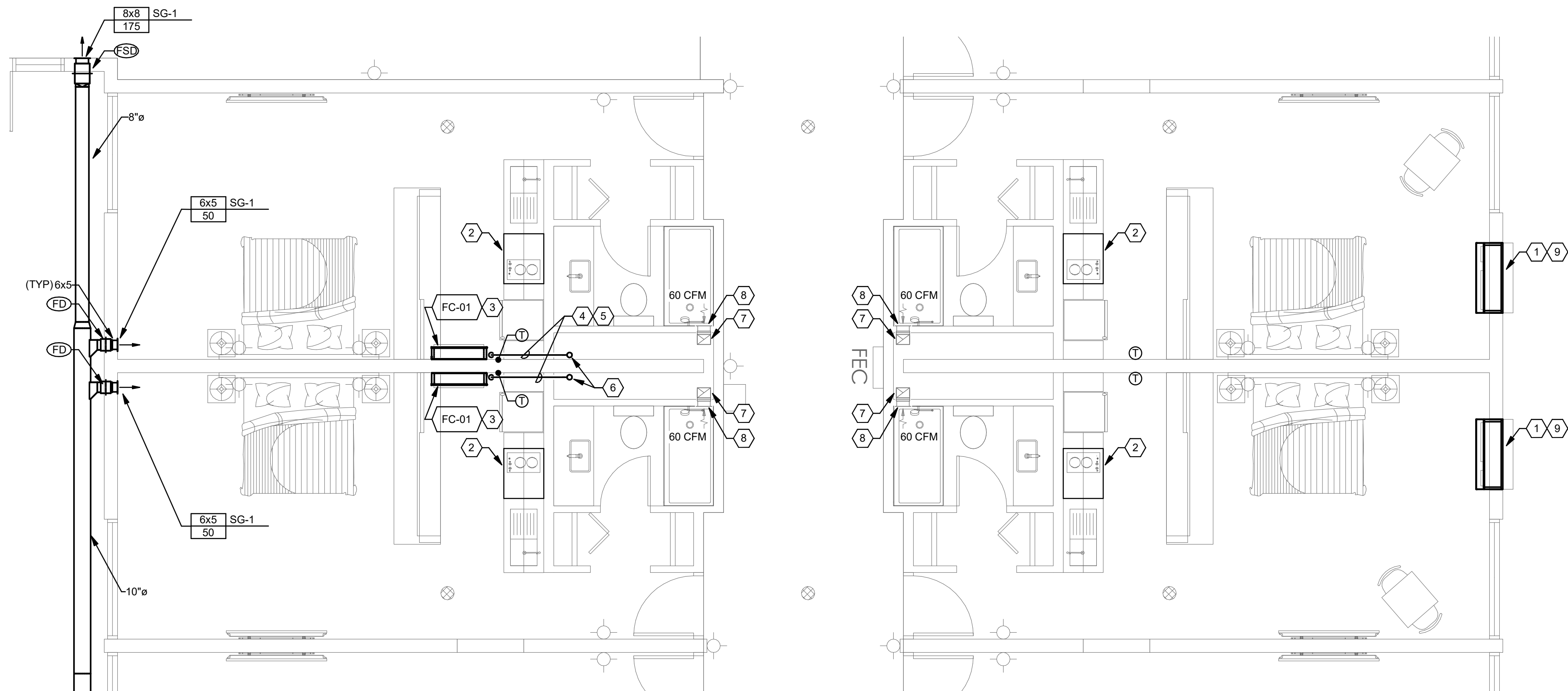
INTERFACE
ENGINEERING

PROJECT 2022-1135
CONTACT PAUL HOLLOWELL
100 SW Main Street, Suite 1600
Portland, OR 97204
TEL 503.382.2266
www.interfaceengineering.com



SHEET KEYNOTES

1. PROVIDE PTHP-01 FOR NORTH FACING PERIMETER APARTMENTS, PTHP-02 FOR SOUTH FACING PERIMETER APARTMENTS, AND PTHP-03 FOR WEST FACING PERIMETER APARTMENTS. REFER TO OVERALL FLOOR PLANS AND TO DETAIL 1/M7.1.
2. MICROWAVE LOCATED ABOVE COOKTOP WITH INTEGRAL VENT, LISTED FOR RECIRCULATION, PROVIDED BY OTHERS. REFER TO ARCHITECTURAL.
3. PROVIDE WALL MOUNTED FAN COIL UNIT FOR ALL INTERIOR UNITS. INSTALL HIGH ON WALL, MAINTAINING ALL MANUFACTURER RECOMMENDED CLEARANCES FOR AIRFLOW AND MAINTENANCE.
4. ROUTE RS, RL, COMMUNICATIONS, POWER, AND PUMPED CONDENSATE PIPING/CONDUIT FROM FC TO CHASE, CONSOLIDATED IN SINGLE CONDUIT, EXPOSED, TIGHT ALONG WALL AND TO UNDERSIDE OF STRUCTURE.
5. ROUTE PUMPED CONDENSATE FROM FC TO NEAREST DRAIN OR APPROVED SINK TAILPIECE. COORDINATE WITH PLUMBING CONTRACTOR.
6. PIPING/CONDUIT UP TO ROOF. COORDINATE FINAL LOCATION WITH EXISTING CHASE CONSTRAINTS AND ROOF JACK LOCATIONS ABOVE.
7. EXISTING TO REMAIN EXHAUST DUCT RISER UP TO POWERED ROOF VENTILATOR ON ROOF.
8. EXISTING TO REMAIN EXHAUST GRILLE FOR TOILET EXHAUST. REBALANCE TO ORIGINAL DESIGN AIRFLOW, 60 CFM.
9. UNIT OUTSIDE VENTILATION AIR PROVIDED BY CONTINUOUSLY OPERATING VENT KIT, INTEGRAL TO PTHP.



1 FLOOR PLAN TYPICAL UNITS - MECHANICAL

0' 2' 4' 6'
1/4" = 1'-0"

HAVEN LIVING

3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE

ENLARGED UNIT PLANS
- MECHANICAL

REVISIONS

DRAWN BY
PHH

CHECKED BY
JMM

JOB NO.
2022-1372

DATE
03/31/2023

SHEET NUMBER

M4.0

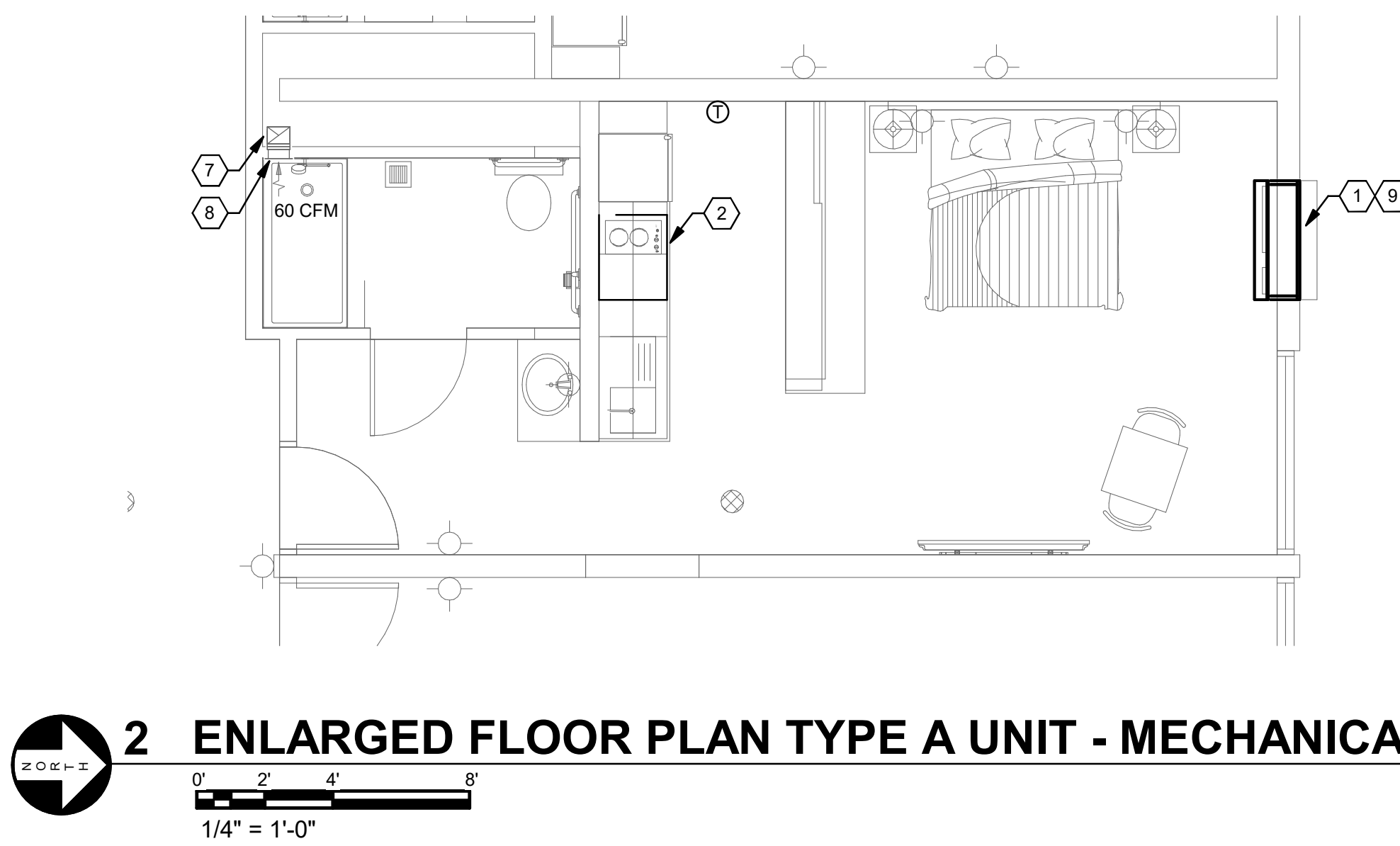
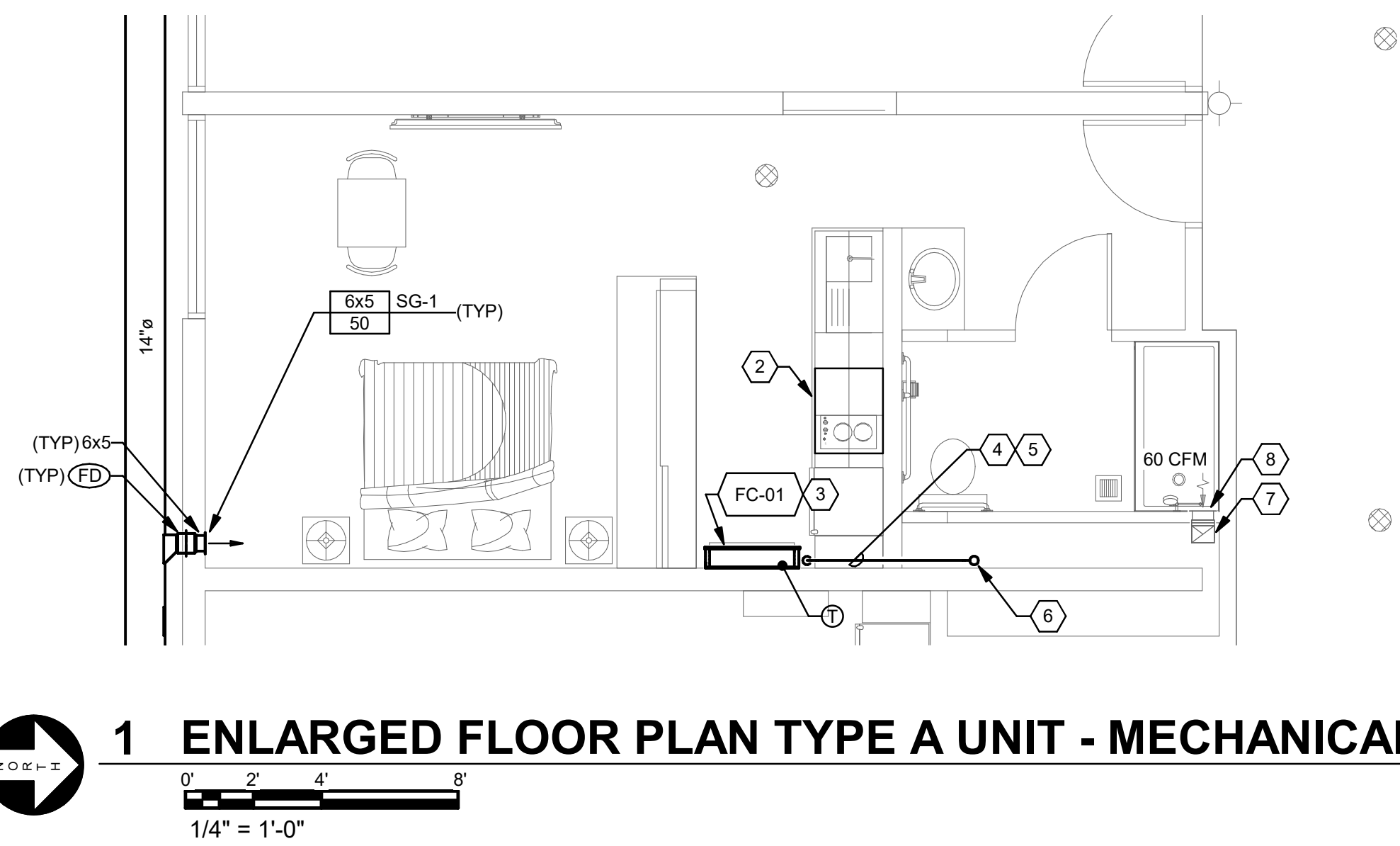


PROJECT 2022-1135
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10 SW Main Street, Suite 1600
Portland, OR 97204
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2. RECIRCULATION EXHAUST HOOD LOCATED ABOVE COOKTOP, WITH REMOTE OPERATION MOUNTED IN ACCESSIBLE LOCATION, LISTED FOR RECIRCULATION, PROVIDED BY OTHERS. REFER TO ARCHITECTURAL.
3. PROVIDE WALL MOUNTED PAN COIL UNIT FOR ALL INTERIOR UNITS. INSURE HIGH ON WALL, MAINTAINING ALL MANUFACTURER RECOMMENDED CLEARANCES FOR AIRFLOW AND MAINTENANCE.
4. ROUTE RS, RL COMMUNICATIONS, POWER, AND PUMPED CONDENSATE PIPING/CONDUIT FROM FC TO CHASE, CONSOLIDATED IN SINGLE CONDUIT, EXPOSED, TIGHT AGAINST WALL, AND TO BASE OF STRUCTURE.
5. ROUTE PUMPED CONDENSATE FROM FC TO NEAREST DRAIN OR APPROVED SINK TAILPIECE.
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8. EXISTING TO REMAIN EXHAUST GRILLE FOR TOILET EXHAUST. REBALANCE TO ORIGINAL DESIGN FRICTION, 60 CFM.
9. UNIT OUTSIDE VENTILATION AIR PROVIDED BY CONTINUOUSLY OPERATING VENT KIT, INTEGRAL TO PTHP.



HAVEN LIVING
3009 W HISTORIC HWY 66
GALLUP, NM 87301

ET TITLE
LARGED ACCESSIBLE
IT PLANS -
CHANICAL

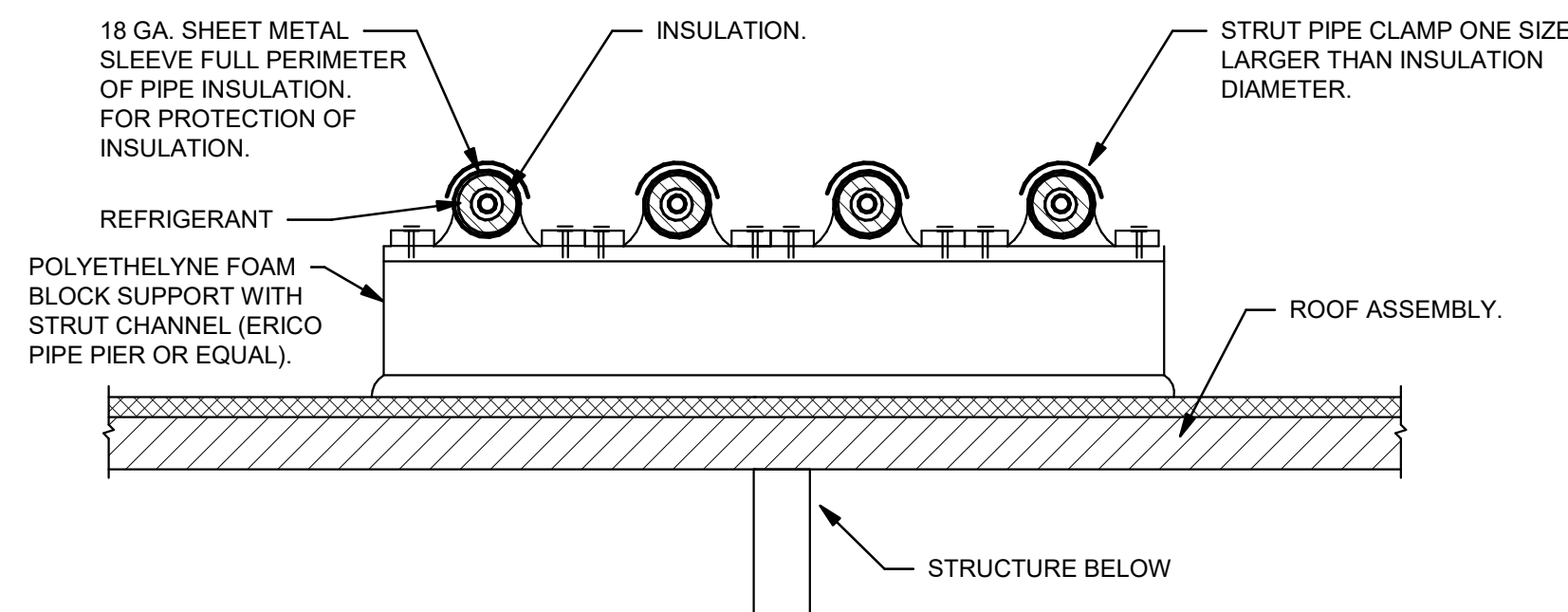
[illegible]

OWN BY	PHH
CKED BY	JMM
NO.	2022-1372
E	03/31/2023
ET NUMBER	

M4.1

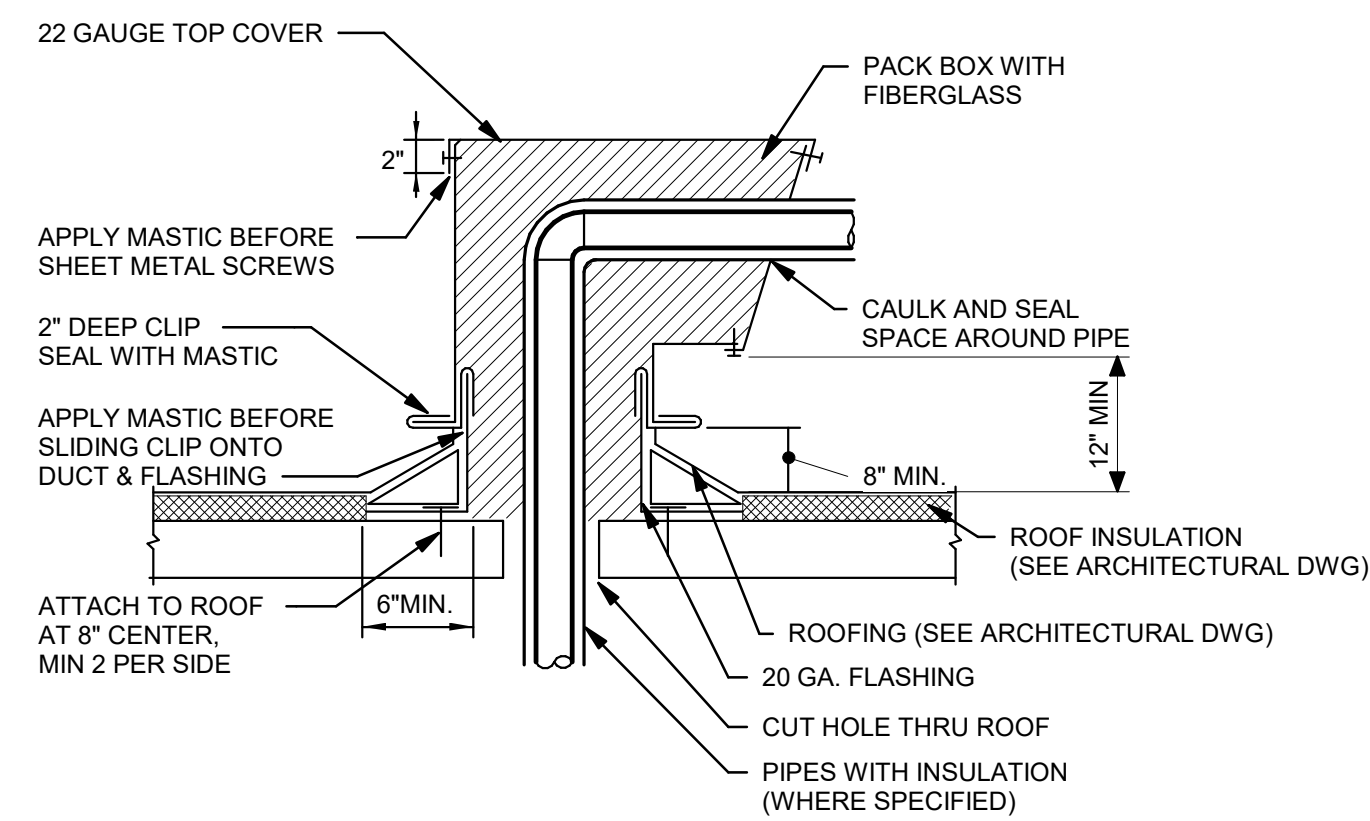
8 CONDENSATE TRAP

NO SCALE



5 ROOFTOP REFRIGERATION PIPING SUPPORT

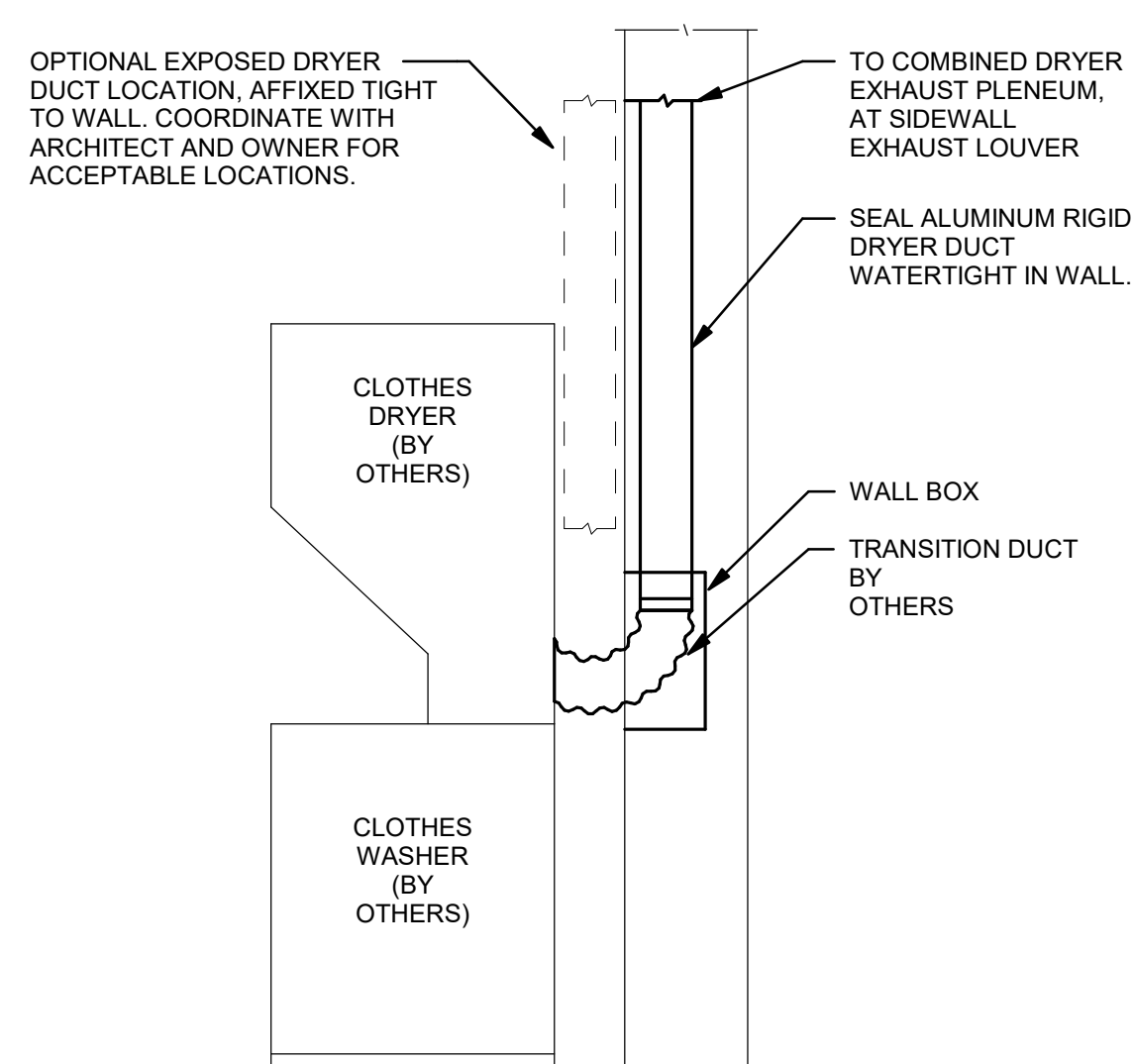
NO SCALE



NOTE:
1. PAINT ALL EXPOSED SHEET METAL PARTS WITH WEATHER RESISTANT PAINT. COORDINATE WITH ARCHITECTURAL FOR FINAL COLOR SELECTION.

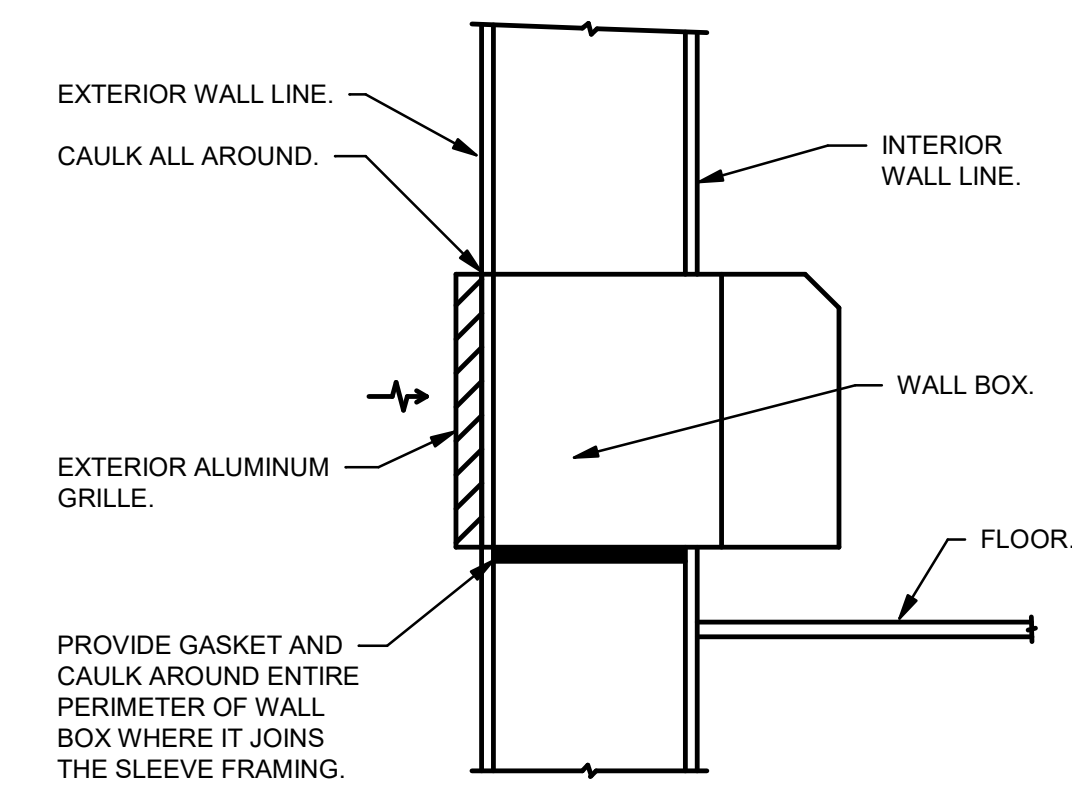
6 ROOF JACK FOR PIPES THRU ROOF

NO SCALE



7 DRYER VENT DETAIL

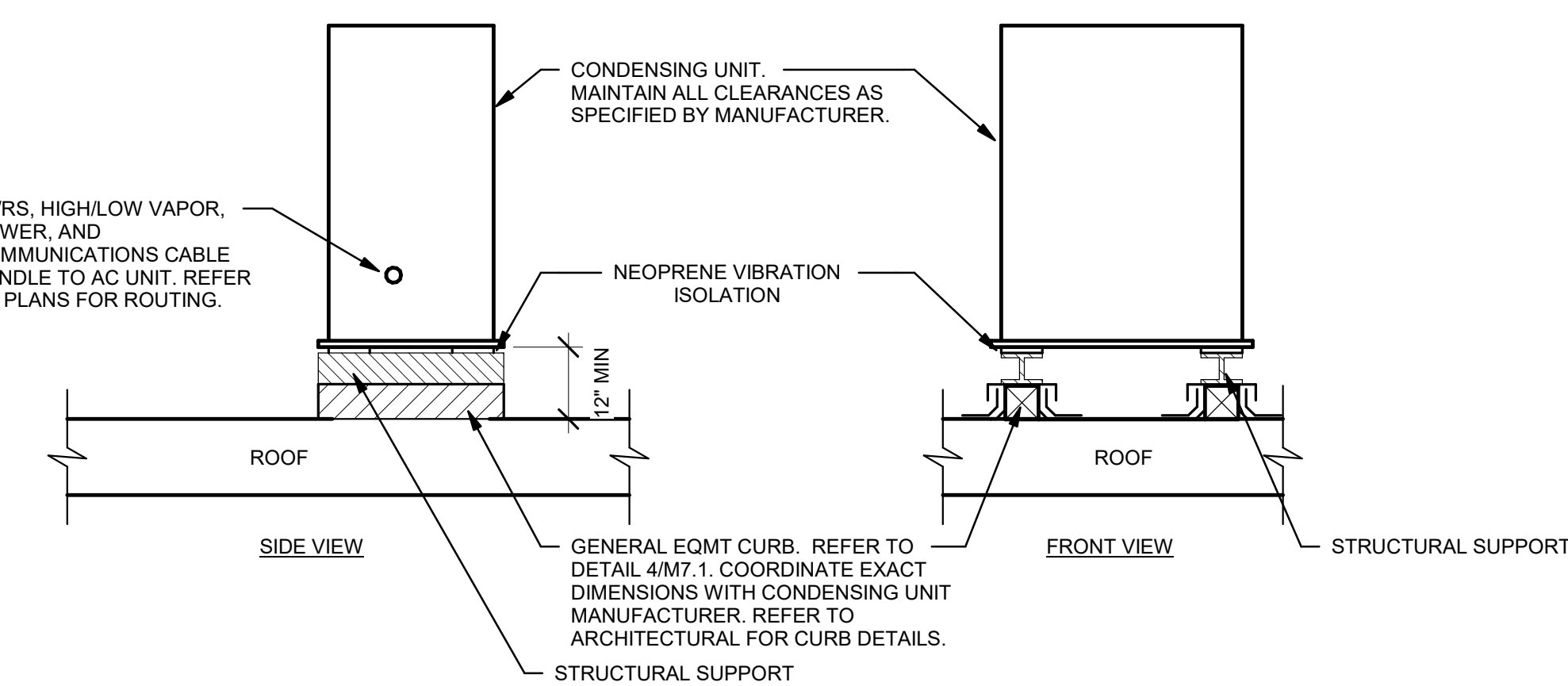
NO SCALE



NOTES:
1. REFER TO ARCHITECTURAL FOR ADDITIONAL WATERPROOFING REQUIREMENTS.
2. REFER TO ARCHITECTURAL FOR UNIT ELEVATIONS.

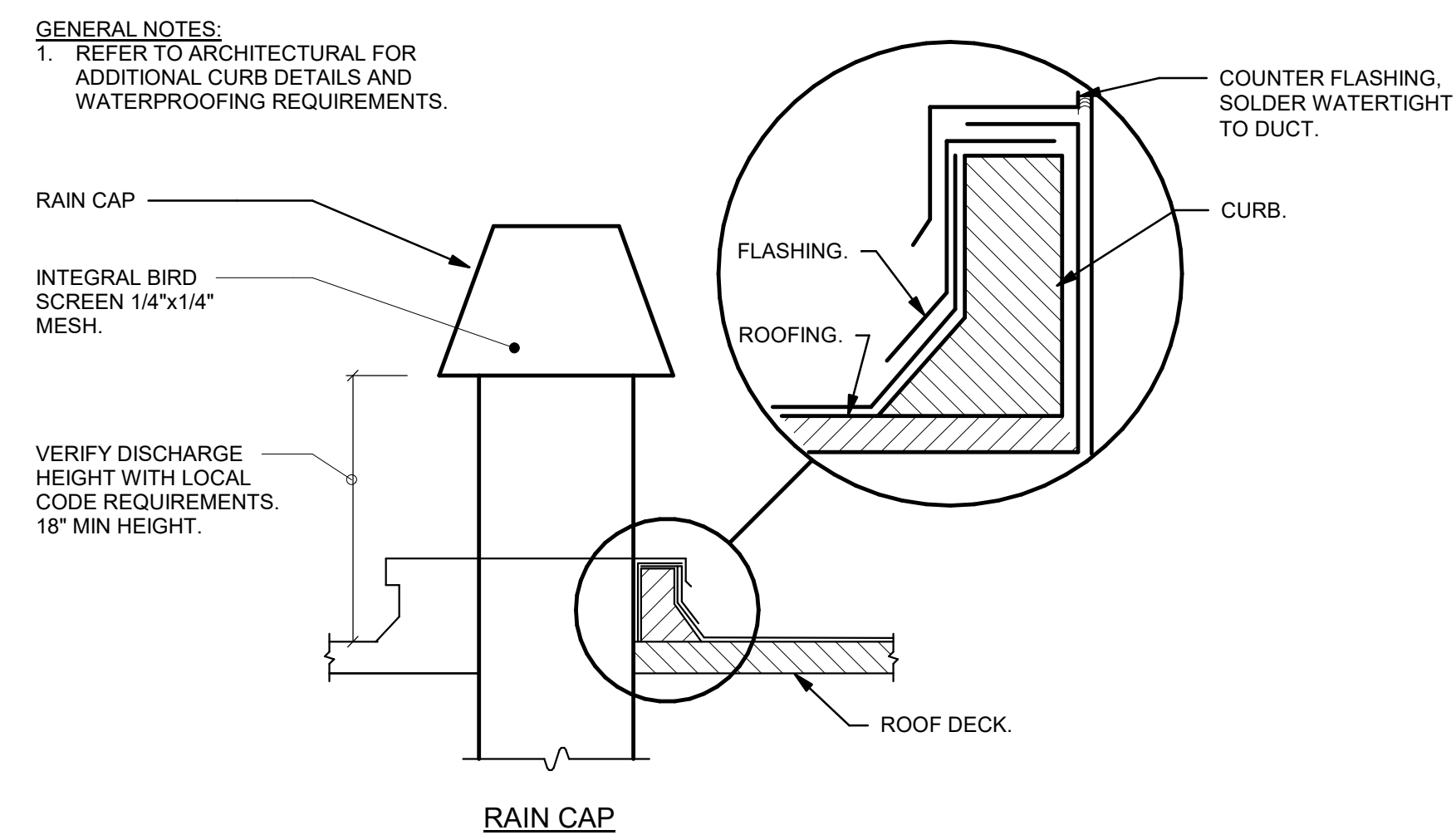
1 THRU THE WALL HEAT PUMP

NO SCALE



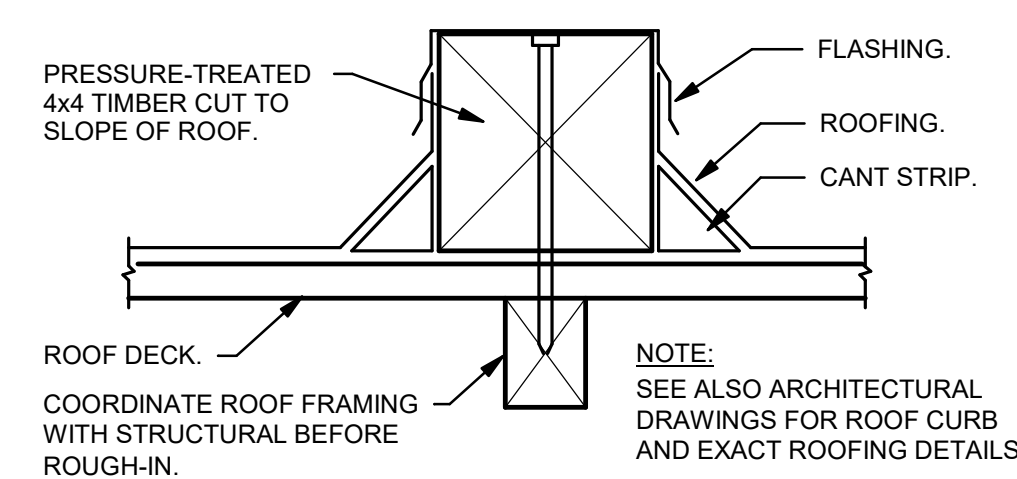
2 CONDENSING UNIT - ROOF-MOUNTED

NO SCALE



3 ROOF TERMINATION - RAIN CAP

NO SCALE



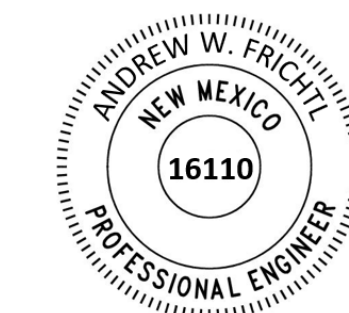
4 GENERAL EQMT CURB

NO SCALE



INTERFACE
ENGINEERING

PROJECT 2022-1135
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HAVEN LIVING
3309 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE

DETAILS - MECHANICAL

REVISIONS

DRAWN BY PHH

CHECKED BY JMM

JOB NO. 2022-1372

DATE 03/31/2023

SHEET NUMBER

M7.1

ELECTRICAL SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

Abbreviations

AFC ABOVE FINISHED CEILING
AFF ABOVE FINISHED FLOOR
AFG ABOVE FINISHED GRADE
ARF ABOVE RAISED FLOOR
ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
AWG AMERICAN WIRE GAUGE
A AMPERES, AMBER
AV AUDIO VISUAL
AHJ AUTHORITY HAVING JURISDICTION
AIC AVAILABLE INTERRUPTING CAPACITY
BAS BUILDING AUTOMATION SYSTEM
CA CABLE
CAT CATEGORY
CLG CEILING
CB CIRCUIT BREAKER
C CONDUIT, CLOSE, CONTROL
CFCI CONTRACTOR FURNISHED CONTRACTOR INSTALLED
CFOI CONTRACTOR FURNISHED OWNER INSTALLED
COORD COORDINATE
CU COPPER
dB DECIBEL
(X) DEMOLISH
DTL DETAIL
DIA DIAMETER
DIM DIMENSION
DIV DIVISION
DN DOWN
DWG DRAWING
EA EACH
EMT ELECTRICAL METALLIC TUBING
ENT ELECTRICAL NON-METALLIC TUBING
ESD ELECTROSTATIC DISCHARGE
EL ELEVATION
E EMERGENCY
EF EXHAUST FAN
(E) EXISTING
FMS FACILITY MANAGEMENT SYSTEMS
FF FINISH FLOOR
FA FIRE ALARM
FACP FIRE ALARM CONTROL PANEL
FMC FLEXIBLE METAL CONDUIT
FT FOOT, FEET
FBO FURNISHED BY OTHERS
G, GND GROUND
GFCI GROUND FAULT CIRCUIT INTERRUPTER
GFI GROUND FAULT INTERRUPTER
GFP GROUND FAULT PROTECTION
GE GROUNDING EQUALIZER
HH HANDHOLE
HT HEIGHT
HC HORIZONTAL CROSS CONNECT
ID IDENTIFICATION
IN INCH, INCHES
IEEE INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
IMC INTERMEDIATE METAL CONDUIT
IG ISOLATED GROUND
KV KILOVOLT
KVA KILOVOLT AMPERES
KW KILOWATT
LED LIGHT EMITTING DIODE
LNC LIQUID TIGHT FLEXIBLE NONMETALLIC CONDUIT
LFMC LIQUIDTIGHT FLEXIBLE METAL CONDUIT
LV LOW VOLTAGE
MCC MAXIMUM OVERCURRENT PROTECTION
MHz MEGAHERTZ
mA MILLIAMPERES
MIN MINIMUM
MCA MINIMUM CIRCUIT AMPS
MISC MISCELLANEOUS
M MOTOR
MCC MOTOR CONTROL CENTER
MT, MTD MOUNT, MOUNTED
MDU MULTI-DWELLING UNIT
NEC NATIONAL ELECTRIC CODE
NEBC NATIONAL ELECTRIC SAFETY CODE
NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
N NEUTRAL
(N) NEW
NC NORMALLY CLOSED
NO NORMALLY OPEN
NA NOT APPLICABLE
N.I.C. NOT IN CONTRACT
NTS NOT TO SCALE
OC ON CENTER
OSP OUTSIDE PLANT
OFCI OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI OWNER FURNISHED, OWNER INSTALLED
PNL PANEL
PH PHASE
PVC POLY-VINYL-CHLORIDE
PWR POWER
QTY QUANTITY
REF REFERENCE
(R) RELOCATE
RFI REQUEST FOR INFORMATION
REQD REQUIRED
RMC RIGID METAL CONDUIT
RM ROOM
SHT SHEET
SIM SIMILAR
SPKR SPEAKER
STD STANDARD
SPD SURGE PROTECTION DEVICE
SWBD SWITCHBOARD
TBB TELECOMMUNICATIONS BONDING BACKBONE
TGB TELECOMMUNICATIONS GROUNDING BUS BAR
TTB TELEPHONE TERMINAL BOARD
TO BE DETERMINED
XFMR TRANSFORMER
TVSS TRANSIENT VOLTAGE SURGE SUPPRESSOR
TP TYPICAL
TYP TYPICAL
UG UNDERGROUND
UL UNDERWRITERS LABORATORIES
UPS UNINTERRUPTIBLE POWER SUPPLY
UON UNLESS OTHERWISE NOTED
VFD VARIABLE FREQUENCY DRIVE
VFRY VERIFY
V VOLTS, VOLTAGE
WP WEATHERPROOF
WG WIRE GUARD
W WIRE, WHITE
W WITH
WO WITHOUT
WAO WORK AREA OUTLET

Connections / Equipment

COMBINATION ADJUSTABLE FREQUENCY DRIVE WITH SAFETY DISCONNECT SWITCH
COMBINATION MOTOR STARTER/FUSED DISCONNECT SWITCH
CONTACTOR COIL
HEAVY DUTY FUSED DISCONNECT SWITCH
MOTOR CONNECTION
NON-FUSED DISCONNECT SWITCH
RELAY
REMOTE DRIVER FOR LED LUMINAIRES
TRANSFORMER
FIRE SMOKE DAMPER
SMOKE DAMPER
CEILING MOUNTED JUNCTION BOX
FLOOR MOUNTED JUNCTION BOX
WALL-MOUNTED JUNCTION BOX
MAGNETIC DOOR HOLDER
FIRE ALARM CONTROL PANEL
NOTIFICATION APPLIANCE CIRCUIT PANEL
FIRE ALARM ANNUNCIATOR PANEL
DETAIL NUMBER AND SHEET LOCATION
EQUIPMENT IDENTIFICATION
FOOD SERVICE EQUIPMENT / CALCULATION TAG
KEYED NOTE
POINT OF CONNECTION
SECTION NUMBER AND SHEET LOCATION
DEMOLISH
EXISTING WORK
NEW WORK

Fire Alarm

FACP
NAC
FAA

General

X
X
XX-X
LOCATION
XX
KEYED NOTE
POINT OF CONNECTION
SECTION NUMBER AND SHEET LOCATION
DEMOLISH
EXISTING WORK
NEW WORK

Lighting

COMBINATION EXIT SIGN CEILING MOUNTED AND DUAL HEAD EMERGENCY EGRESS LIGHTING WITH BATTERY PACK. ARROW(S) INDICATES DIRECTION IF SHOWN
COMBINATION EXIT SIGN WALL MOUNTED AND DUAL HEAD EMERGENCY EGRESS LIGHTING WITH BATTERY PACK. ARROW(S) INDICATES DIRECTION IF SHOWN
EMERGENCY LUMINAIRE WITH BATTERY PACK
EXIT SIGN CEILING MOUNTED, ARROW(S) INDICATES DIRECTION IF SHOWN
EXIT SIGN WALL MOUNTED, ARROW(S) INDICATES DIRECTION IF SHOWN
RECESSED LUMINAIRE
SURFACE OR PENDANT MOUNTED STRIPLIGHT
WALL MOUNTED LUMINAIRE

Miscellaneous

BRANCH CIRCUIT WIRING. ARROW INDICATES HOME RUN TO PANEL WITH CIRCUITS AS NOTED. WIRE SIZE IS #12 AWG MINIMUM UNLESS NOTED OTHERWISE. SHORT TICK MARKS INDICATE PHASE CONDUCTORS. LONG TICK MARKS INDICATE NEUTRAL CONDUCTORS. A SINGLE CURVED TICK MARK INDICATES INSULATED GREEN GROUND CONDUCTOR. SECOND CURVED TICK MARK INDICATES "ISOLATED GROUND" (GREEN INSULATION WITH YELLOW STRIPE) CONDUCTOR.
BRANCH PANEL
CIRCUIT BREAKER
DRY TYPE TRANSFORMER
FLUSH MOUNT EQUIPMENT ENCLOSURE AS NOTED
FLUSH WALL MOUNTED BRANCH PANEL
GROUND BAR
GROUNDING POINT
MAIN DISTRIBUTION PANEL / SUB DISTRIBUTION PANEL
POWER UTILITY POLE
SUBGRADE VAULT CATV
SUBGRADE VAULT POWER
SUBGRADE VAULT TELEPHONE
SURFACE MOUNT EQUIPMENT ENCLOSURE AS NOTED
TELEPHONE UTILITY POLE
UTILITY TRANSFORMER PAD/VAULT

SWITCHES AND RECEPTACLES
DUPLX RECEPTACLE (MULTIPLE LETTERS INDICATE MULTIPLE OPTIONS)
A = ABOVE COUNTER
B = RECESSED RECEPTACLE
F = ARC FAULT PROTECTED BY BREAKER IN PANEL
G = GROUND FAULT CIRCUIT INTERRUPTER
L = ISOLATED GROUND
S = SPLIT WIRED
T = TAMPER RESISTANT SHUTTERED RECEPTACLE
U = USB PORT(S)
W = WEATHERPROOF CONTINUOUS USE COVER, GFCI PROTECTED, WITH WEATHER-RESISTANT RECEPTACLE
DOUBLE DUPLX RECEPTACLE. SEE LETTER CODE LIST AT DUPLX RECEPTACLE FOR OPTIONS
EQUIPMENT ELECTRICAL CONNECTION
SPECIAL PURPOSE RECEPTACLE. LETTER CODE DENOTES RECEPTACLE CONFIGURATION
LX-XXR = NEMA CONFIGURATION TWIST-LOCK RECEPTACLE
XXR = NEMA CONFIGURATION STRAIGHT BLADE RECEPTACLE
P = PENDANT MOUNT WITH CORD GRIPS. VERIFY PENDANT LENGTH
X = COORDINATE RECEPTACLE CONFIGURATION WITH EQUIPMENT BEING SUPPLIED
CEILING MOUNTED OCCUPANCY SENSOR
P = PASSIVE INFRARED
D = DUAL TECHNOLOGY
U = ULTRASONIC, 360 DEG RANGE
H = ULTRASONIC, HALLWAY PATTERN
v (LOWERCASE) = VACANCY CONTROL DESIGNATION
WALL MOUNTED OCCUPANCY SENSOR
P = PASSIVE INFRARED
D = DUAL TECHNOLOGY
v (LOWERCASE) = VACANCY CONTROL DESIGNATION
WALL MOUNTED OCCUPANCY SENSOR/ SWITCH
S = PASSIVE INFRARED WITH INTEGRAL "OFF" SWITCH
T = DUAL RELAY PASSIVE INFRARED WITH TWO INTEGRAL "OFF" SWITCHES
D = PASSIVE INFRARED WITH INTEGRAL DIMMER TO OFF.
v (LOWERCASE) = VACANCY CONTROL DESIGNATION
PHOTO ELECTRIC SWITCH
D = CONTINUOUS DIMMING PHOTOCELL
S = SWITCHED PHOTOCELL
SINGLE POLE SWITCH
2 = DOUBLE POLE SWITCH
3 = THREE-WAY SWITCH
4 = FOUR-WAY SWITCH
a THRU z (LOWERCASE) = LUMINAIRE CONTROL DESIGNATION
D = DIMMER
F = FAN SPEED CONTROL
K = KEY OPERATED SWITCH
L = LIGHTED HANDLE
M = MANUAL MOTOR STARTER WITH THERMAL OVERLOAD
P = SWITCH WITH PILOT LIGHT
S = SENTRY SWITCH
T = INTERVAL TIMER
W = WEATHERPROOF SWITCH
V = LOW VOLTAGE SWITCH

Raceways

EXISTING CONDUIT CONCEALED IN WALL OR CEILING SPACE
EXISTING CONDUIT ROUTED BELOW FLOOR / GRADE
OVERHEAD PRIMARY SERVICE

OVERHEAD TELEPHONE SERVICE
UNDERGROUND CABLE TELEVISION SERVICE
UNDERGROUND PRIMARY SERVICE
UNDERGROUND SECONDARY SERVICE
UNDERGROUND TELEPHONE SERVICE
CONDUIT CONCEALED IN WALL OR CEILING SPACE
CONDUIT ROUTED BELOW FLOOR / GRADE
CONDUIT ELLED DOWN
CONDUIT ELLED UP
CONDUIT/WIRING CONTINUATION
CONDUIT/WIRING STUBBED OUT WITH END CAP OR INSULATED PLASTIC BUSHING
FLEXIBLE CONDUIT

Switches and Receptacles

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P = SWITCH WITH PILOT LIGHT
S = SENTRY SWITCH
T = INTERVAL TIMER
W = WEATHERPROOF SWITCH
V = LOW VOLTAGE SWITCH

GENERAL ELECTRICAL NOTES

- A. NEW MEXICO: 2017 NEC
- B. CONSULT ALL DRAWINGS IN THIS PROJECT AND BECOME FAMILIAR WITH ALL EQUIPMENT TO BE INSTALLED. COORDINATE ALL ASPECTS OF THE CONSTRUCTION WITH THE OTHER TRADES ON THE JOB TO ENSURE THAT ALL WORK AND MATERIALS REQUIRED PROVIDE A COMPLETE AND OPERATIONAL RESIDENTIAL BUILDING ARE INCLUDED IN THE BID.
- C. PROVIDE CONNECTION TO ALL 120V FIRE ALARM PANELS / POWER SUPPLIES. COORDINATE WITH DIVISION 28 DESIGN BUILD CONTRACTOR.
- D. COORDINATE WITH GENERAL CONTRACTOR DURING BID FOR DIVISION 23 LINE VOLTAGE POWER CONNECTIONS TO CONTROLS / POWER SUPPLIES (IF ANY) NOT ALREADY CONTAINED WITHIN THE DOCUMENTS TO BE INCLUDED IN DIVISION 26 SCOPE OF WORK.
- E. PROVIDE POWER TO LUMINAIRES / CONTROL DEVICES AS REQUIRED TO MEET NFPA LIFE-SAFETY EGRESS ILLUMINATION REQUIREMENTS.
- F. PROVIDE PRICING FOR CONNECTIONS / DISCONNECTS TO FIRE SPRINKLER AIR COMPRESSORS, JOCKEY PUMPS, AND BELLS. COORDINATE WITH DIVISION 21.
- G. BRANCH CIRCUIT WIRING ASSUMES SIX DUPLX RECEPTACLES PER 20-AMP CIRCUIT.
- H. PROVIDE DEDICATED NEUTRALS FOR EACH CIRCUIT.
- I. MINIMUM SIZE CONDUIT SHALL BE 3/4-INCH TRADE SIZE.
- J. FEEDER CIRCUIT WIRING: ALUMINUM THWN-2
BRANCH CIRCUIT WIRING FOR BUILDING COMMON AREAS: COPPER
THHN/THWN-2 #12 CU MINIMUM. BUILDING TYPE IIIA: NMB CABLE ALLOWED. MC CABLE ALLOWED FOR 20-AMP AND 30-AMP CIRCUITS IN ACCESSIBLE DROP CEILING LOCATIONS. NOT ALLOWED FOR HOMERUNS TO PANELBOARD.
- K. BRANCH CIRCUIT WIRING IN DWELLING UNITS: COPPER THHN. NMB CABLE ALLOWED.
- L. PROVIDE SELF-TESTING GFCI AND AFCI OUTLETS OR GFCI CIRCUIT BREAKERS WHERE REQUIRED BY CODE.

ELECTRICAL APPROVED - JUSTIN MORENO
Exceptions As Noted
Checking is only for general conformance with the design concept of the project and general compliance with the information given in the contract documents.
Any corrections or comments are subject to the requirements of the plans and specifications.
Contractor is responsible for dimensions which shall confirmed and correlated at the job site, fabrication processes and techniques of construction, coordination of his/her work with that of all the trades and the satisfactory performance of his/her work and all code requirements. All sections shall conform with the National Electrical Code and the State of New Mexico Electrical Code.
05/31/2023 10:15:55 AM

LUMINAIRE SCHEDULE

TYPE	DESCRIPTION	HOUSING	SHIELDING	MOUNTING	FINISH	UL/IP RATING	DRIVER/ POWER SUPPLY	LIGHT SOURCE	INPUT WATTS	MFG/CATALOG #	NOTES
A	SURFACE MOUNT LED STRIPLIGHT; NOMINAL 4-INCH WIDE X 4-INCH HIGH X 24-INCH LONG	COLD ROLLED STEEL	ROUND Frosted ACRYLIC LENS	CEILING MOUNTED	WHITE	UL DAMP	INTEGRAL DRIVER	4000 NOMINAL LUMENS; 3500K LED; 80 CRI	30	LITHONIA CLX SERIES, OR APPROVED	PROVIDE WITH INTEGRAL OCCUPANCY SENSOR
A-E	SAME AS TYPE 'A' EXCEPT WITH INTEGRAL EMERGENCY BATTERY BACK-UP FOR MINIMUM 1100 LUMEN OUTPUT										
B1	DECORATIVE LED WALL SCONCE, 12-INCH WIDE X 12-INCH HIGH X 4-INCH DEEP	18 GAUGE STEEL	LUMINOUS WHITE ACRYLIC	WALL; 7'-6" TO CENTER	SILVER		INTEGRAL DRIVER	1200 NOMINAL LUMENS; 3000K LED	22	TERON LIGHTING ECLIPSE S RNG LED SERIES, OR APPROVED	
B2	VANITY LED WALL SCONCE, 24-INCH WIDE X 6-INCH HIGH X 4-INCH DEEP	18 GAUGE STEEL	LUMINOUS WHITE ACRYLIC	WALL; 6'-8" TO CENTER	SILVER	UL DAMP	INTEGRAL DRIVER	3500 NOMINAL LUMENS; 3000K LED	33	TERON LIGHTING CAPRI LED 24" SERIES, OR APPROVED	
B3	VANITY LED WALL SCONCE, 36-INCH WIDE X 6-INCH HIGH X 4-INCH DEEP	18 GAUGE STEEL	LUMINOUS WHITE ACRYLIC	WALL; 6'-8" TO CENTER	SILVER	UL DAMP	INTEGRAL DRIVER	5000 NOMINAL LUMENS; 3000K LED	35	TERON LIGHTING CAPRI LED 24" SERIES, OR APPROVED	
C1	DECORATIVE LED WALL SCONCE WITH REMOTE BATTERY BACK-UP, 12-INCH WIDE X 12-INCH HIGH X 4-INCH DEEP	18 GAUGE STEEL	LUMINOUS WHITE ACRYLIC	WALL; 7'-6" TO CENTER	SILVER		INTEGRAL DRIVER	2400 NOMINAL LUMENS; 3000K LED	25	TERON LIGHTING ECLIPSE S RNG LED SERIES, OR APPROVED	
C2	DECORATIVE LED WALL SCONCE, 7-INCH WIDE X 7-INCH HIGH X 4-INCH DEEP	18 GAUGE STEEL	LUMINOUS WHITE ACRYLIC	WALL; 7'-6" TO CENTER	SILVER		INTEGRAL DRIVER	1600 NOMINAL LUMENS; 3000K LED	10.5	TERON LIGHTING TIGER M LED SERIES, OR APPROVED	
D1	RECESSED ROUND LED DOWNLIGHT, 8-INCH DIAMETER	EXTRUDED ALUMINUM	SOFT FOCUS LENS	RECESSED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	3000 NOMINAL LUMENS; 3500K LED; 80CRI	30	GOATHAM EVO SERIES, OR APPROVED	
D1-E	SAME AS TYPE 'D1' EXCEPT WITH INTEGRAL EMERGENCY BATTERY BACK-UP FOR MINIMUM 800 LUMEN OUTPUT										
D2	RECESSED ROUND LED DOWNLIGHT, 8-INCH DIAMETER	EXTRUDED ALUMINUM	SOFT FOCUS LENS	RECESSED	WHITE	UL DAMP	INTEGRAL DRIVER; 0-10V DIMMING TO 1%	2000 NOMINAL LUMENS; 3500K LED; 80CRI	20	GOATHAM EVO SERIES, OR APPROVED	
D2-E	SAME AS TYPE 'D2' EXCEPT WITH INTEGRAL EMERGENCY BATTERY BACK-UP FOR MINIMUM 800 LUMEN OUTPUT										
X	UNIVERSAL THIN PROFILE LED EXIT SIGN WITH INTEGRAL EMERGENCY BATTERY BACK-UP. NOMINAL 12-INCH WIDE X 8.5-INCH TALL X 0.5-INCH DEEP. CHEVRONS AS INDICATED ON DRAWINGS; SINGLE OR DUAL FACED AS INDICATED ON DRAWINGS	DICE CAST ALUMINUM	NA	REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING CONDITIONS	BRUSHED ALUMINUM	UL DAMP	INTEGRAL DRIVER	GREEN LETTERING; LED	2	EVENLITE RAZOR MK3, ISOLITE, OR APPROVED	CONTRACTOR TO VERIFY BACK-BOX REQUIREMENTS PRIOR TO ROUGH-IN
NOTES: 1 THIS LUMINAIRE SCHEDULE IS NOT COMPLETE WITHOUT A COPY OF THE PROJECT MANUAL CONTAINING THE ELECTRICAL SPECIFICATIONS. 2 DIMMING CONTROL PROTOCOL (0-10VDC, LINE VOLTAGE, DALI, ETC.) COMPATIBLE WITH LIGHTING CONTROL SYSTEM AS SPECIFIED AND SHOWN ON DRAWINGS. 3 COORDINATE ALL CEILING TYPES WITH LUMINAIRE LOCATIONS PRIOR TO ORDERING LUMINAIRES. COORDINATE INSTALLATION WITH REFLECTED CEILING PLAN. 4 SPECIFIED MANUFACTURERS ARE APPROVED TO SUBMIT BID. INCLUSION DOES NOT RELIEVE MANUFACTURER FROM SUPPLYING PRODUCT AS DESCRIBED. 5 PROVIDE SUBMITTALS THAT INCLUDE THE LUMINAIRE, LAMP AND DIMMABLE LED DRIVER INFORMATION OF EACH LUMINAIRE, WITH APPLICABLE OPTIONS CLEARLY CHECKED OR HIGHLIGHTED. SUBMITTALS NOT INCLUDING THIS INFORMATION WILL BE RETURNED AS REJECTED BY THE ENGINEER OF RECORD. 6 REMOTE DRIVERS: UL LISTED FOR THEIR APPLICATION. DRIVERS MARKED AS UL RECOGNIZED COMPONENT BUT NOT UL LISTED ARE SUBJECT TO REMOVAL AND REPLACEMENT AT NO COST TO OWNER.											



PROJECT 2022-1135
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STATE OF NEW MEXICO
27943
Professional Engineer
Justin Moreno
Engineer Number: 27943
Reason: I have renewed this
license.
08/31/2023

HAVEN LIVING
3009 W HISTORIC HWY 86
GALLUP, NM 87301

SHEET TITLE

SYMBOL LIST AND
GENERAL NOTES -
ELECTRICAL

REVISIONS

E0.1 SYMBOL LIST AND GENERAL NOTES - ELECTRICAL

E1.0 FIRST FLOOR PLAN - POWER
E1.1 SECOND FLOOR PLAN - POWER
E1.2 ROOF PLAN - POWER
E2.0 FIRST FLOOR REFLECTED CEILING PLAN - LIGHTING
E2.1 SECOND FLOOR REFLECTED CEILING PLAN - LIGHTING

E4.0 ENLARGED UNIT PLANS - POWER
E4.1 ENLARGED ACCESSIBLE UNIT PLANS - POWER

E4.2 ENLARGED UNIT PLANS - LIGHTING
E4.3 ENLARGED ACCESSIBLE UNIT PLANS - LIGHTING

E5.1 SINGLE LINE DIAGRAMS - ELECTRICAL

E6.1 SCHEDULES - ELECTRICAL

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2022-1372

DATE

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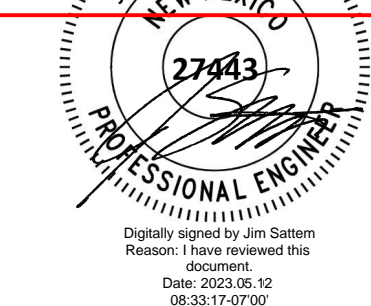
E0.1



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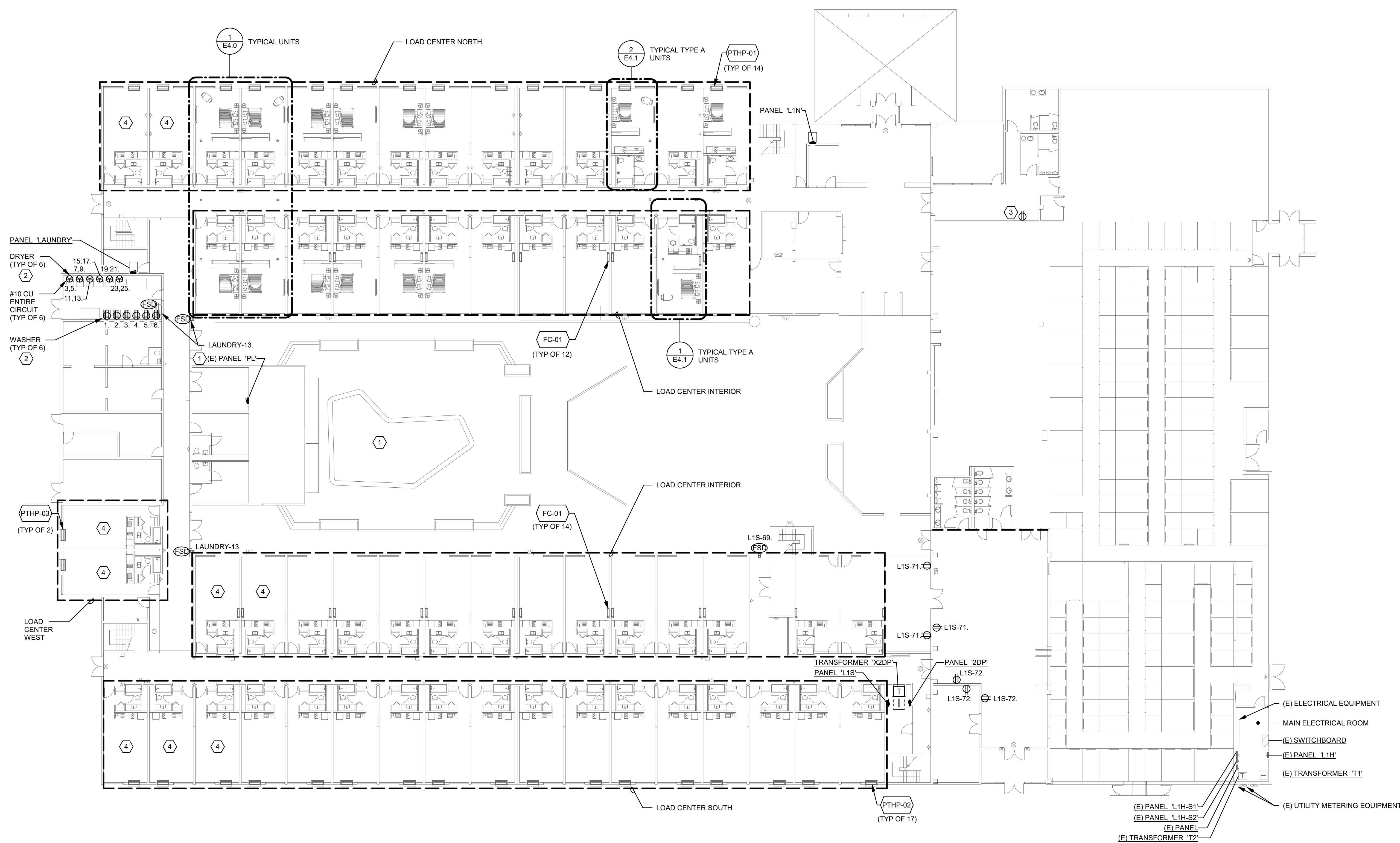


GENERAL SHEET NOTES

- PROVIDE CIRCUIT AND RECEPTACLE IN FIRE SPRINKLER VAULT FOR SUMP PUMP AND 1-INCH CONDUIT FOR FIRE ALARM. COORDINATE WITH OWNER PROJECT MANAGER.
- PROVIDE NEW CONNECTION TO FC-01'S AND PTHP'S FROM ASSOCIATED UNIT LOAD CENTERS. REFER TO MECHANICAL DRAWINGS FOR FINAL EQUIPMENT LOCATIONS.

SHEET KEYNOTES

- UTILIZE EXISTING POOL PANEL 'PL' TO SERVE NEW POOL EQUIPMENT. POOL EQUIPMENT DESIGN AND CONNECTIONS BY POOL EQUIPMENT VENDOR.
- SERVE WASHERS / DRYERS FROM NEW PANEL 'LAUNDRY'.
- EXTEND CIRCUIT FROM NEAREST RECEPTACLE TO SERVE NEW RECEPTACLE.
- FEEDER TO UNIT LOAD CENTER UPSIZED FOR VOLTAGE DROP.



NOTE
ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL
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NMAC 14.7.9

1 FIRST FLOOR PLAN - POWER
0' 8' 16' 32'
1/16" = 1'-0"

HAVEN LIVING
3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE
FIRST FLOOR PLAN -
POWER

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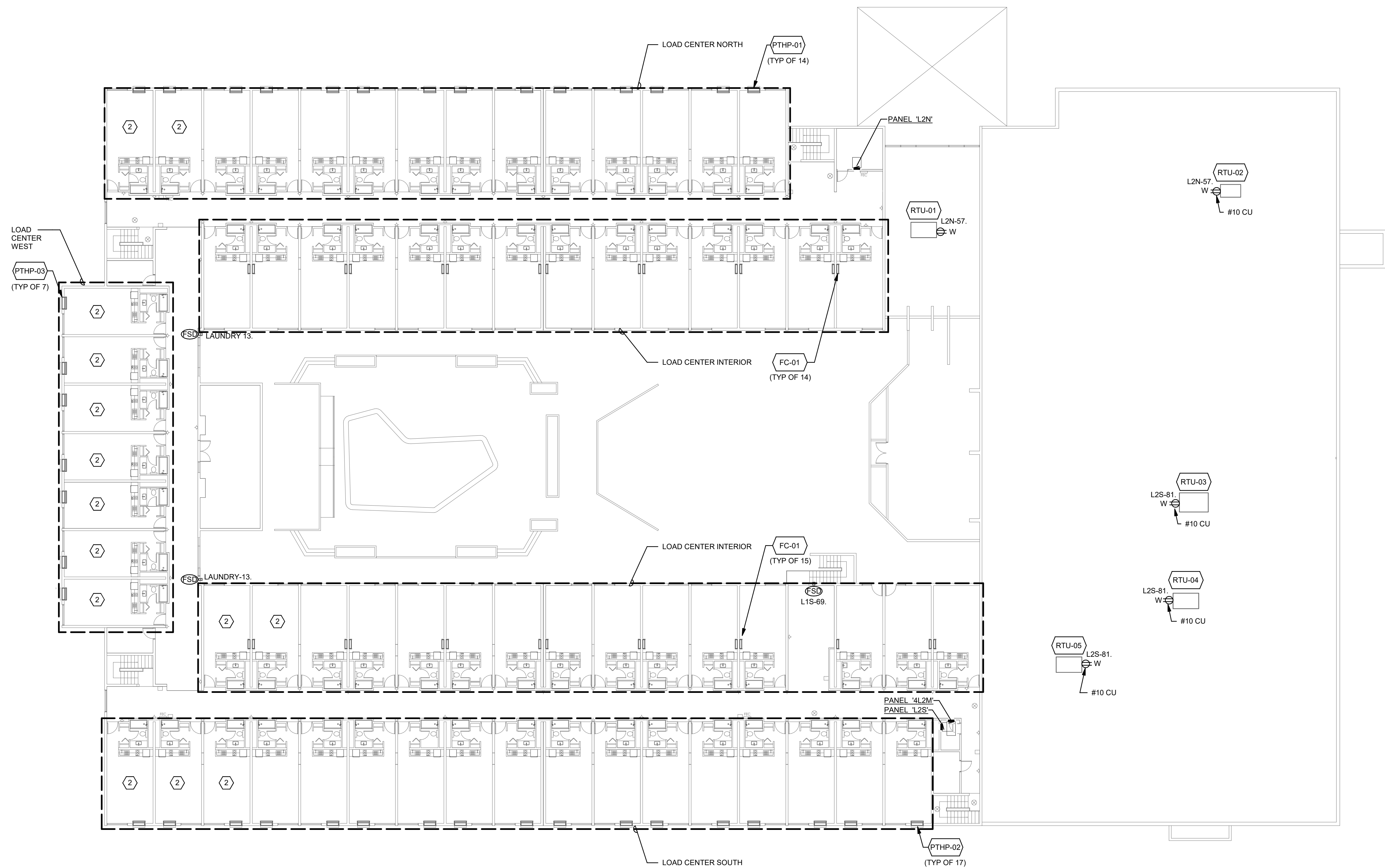


GENERAL SHEET NOTES

- A. PROVIDE NEW CONNECTION TO RTU'S FROM MAIN ELECTRICAL SERVICE. REFER TO MECHANICAL DRAWINGS FOR FINAL EQUIPMENT LOCATIONS.
- B. PROVIDE NEW CONNECTION TO FC-01'S AND PTHP'S FROM ASSOCIATED UNIT LOAD CENTERS. REFER TO MECHANICAL DRAWINGS FOR FINAL EQUIPMENT LOCATIONS.

SHEET KEYNOTES

1. NOT USED.
2. FEEDER TO UNIT LOAD CENTER UPSIZED FOR VOLTAGE DROP.



NOTE
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1 SECOND FLOOR PLAN - POWER

0' 8' 16' 32'
1/16" = 1'-0"

HAVEN LIVING
3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE
SECOND FLOOR PLAN -
POWER

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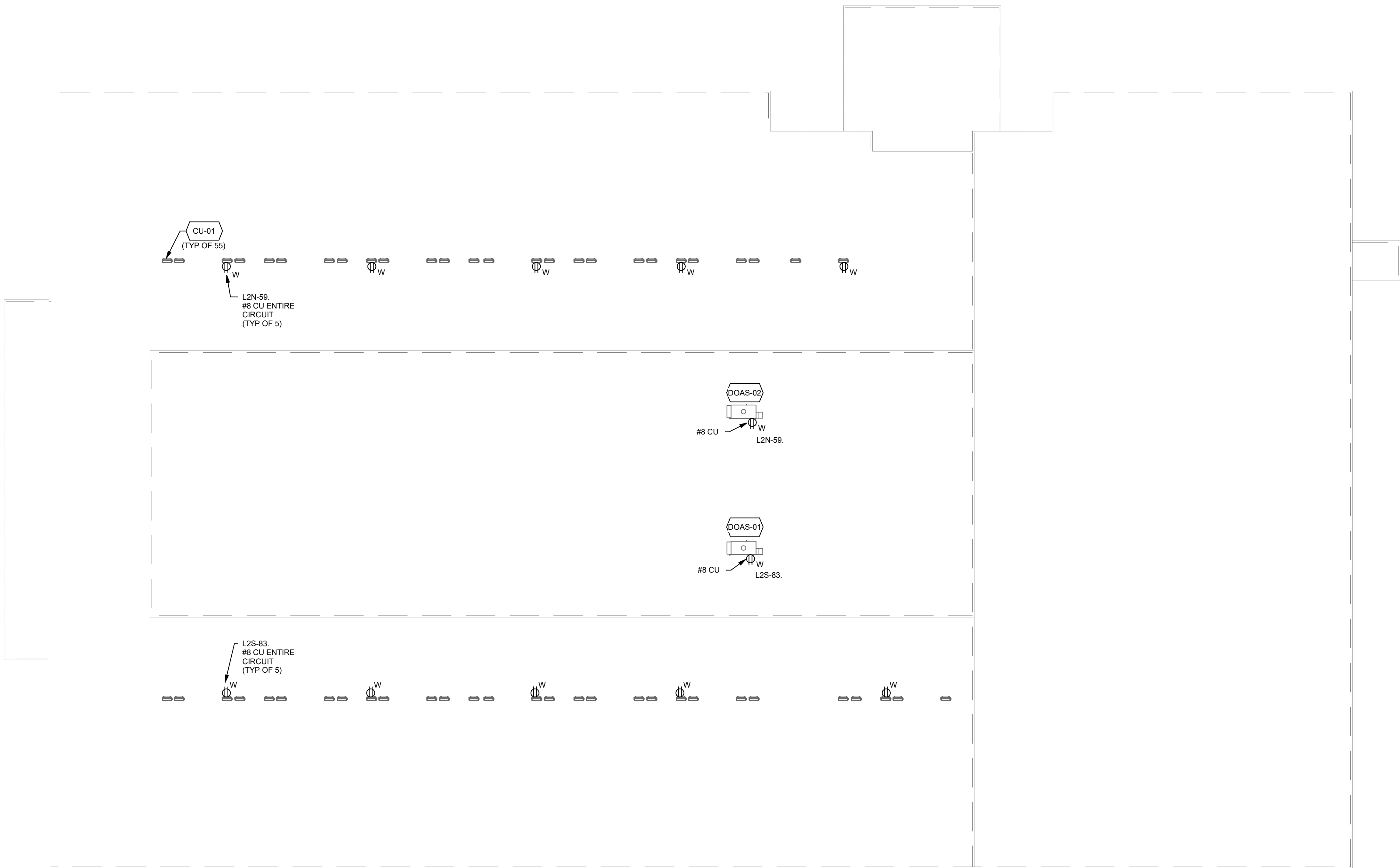
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GENERAL SHEET NOTES

- A. PROVIDE NEW CONNECTION TO DOAS UNITS FROM MAIN ELECTRICAL SERVICE. REFER TO MECHANICAL DRAWINGS FOR FINAL EQUIPMENT LOCATIONS.
- B. PROVIDE NEW CONNECTION TO CONDENSING UNITS CU-01 FROM ASSOCIATED UNIT LOAD CENTERS. REFER TO MECHANICAL DRAWINGS FOR FINAL EQUIPMENT LOCATIONS.



NOTE
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1 ROOF PLAN - POWER

0' 8' 16' 32'
1/16" = 1'-0"

HAVEN LIVING
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GALLUP, NM 87301

SHEET TITLE
ROOF PLAN - POWER

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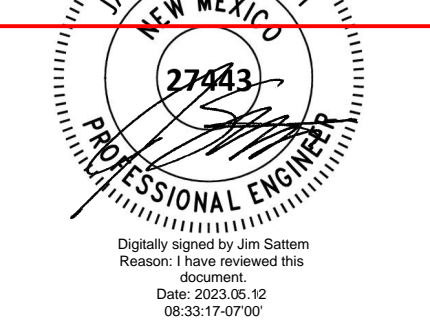
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GENERAL SHEET NOTES

- A. UTILIZE EXISTING CIRCUITS FROM DEMOLISHED LIGHTING TO SERVE NEW LIGHTS.
- B. UTILIZE EXISTING LIGHTING CONTROLS IN CORRIDORS SERVING RESIDENTIAL UNITS.
- C. FOR ALL TYPE 'C'1' FIXTURE, PROVIDE REMOTE EMERGENCY BATTERIES TO MEET MINIMUM 1FC AT ALL EGRESS PATHS. LOCATE EMERGENCY BATTERIES IN ACCESSIBLE CEILING SPACE ABOVE FIXTURE.

SHEET KEYNOTES

1. PROVIDE NEW LIGHTING IN AREA PER ARCHITECTURAL DIRECTION. UTILIZE EXISTING CIRCUITS FROM DEMOLISHED LIGHTING TO SERVE NEW LIGHTS. UTILIZE EXISTING CONTROLS TO SERVE AREA.
2. PROVIDE NEW LIGHTING IN AREA PER ARCHITECTURAL DIRECTION. UTILIZE EXISTING CIRCUITS FROM DEMOLISHED LIGHTING TO SERVE NEW LIGHTS. REVISE LIGHTING CONTROLS TO CONTROL BOTH AREAS DUE TO REMOVAL OF WALL.



NOTE
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1 FIRST FLOOR REFLECTED CEILING PLAN - LIGHTING

0' 8' 16' 32'
1/16" = 1'-0"

HAVEN LIVING
3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE
FIRST FLOOR
REFLECTED CEILING
PLAN - LIGHTING

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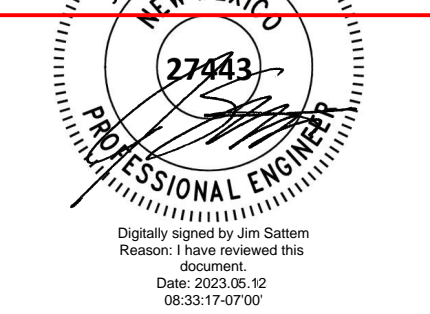
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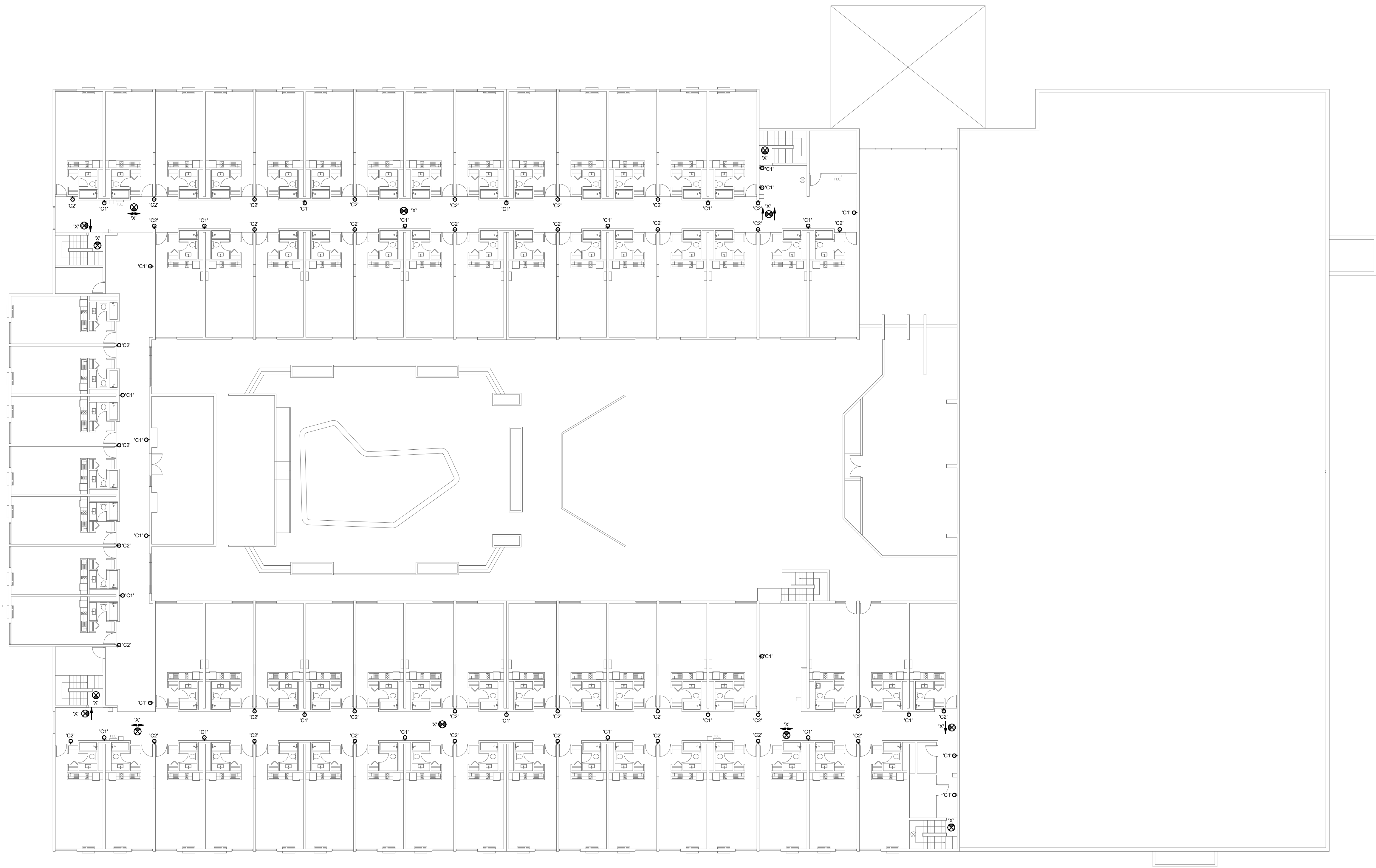
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GENERAL SHEET NOTES

- A. UTILIZE EXISTING CIRCUITS FROM DEMOLISHED LIGHTING TO SERVE NEW LIGHTS.
- B. UTILIZE EXISTING LIGHTING CONTROLS IN CORRIDORS SERVING RESIDENTIAL UNITS.
- C. FOR ALL TYPE 'C'1' FIXTURE, PROVIDE REMOTE EMERGENCY BATTERIES TO MEET MINIMUM 1FC AT ALL EGRESS PATHS. LOCATE EMERGENCY BATTERIES IN ACCESSIBLE CEILING SPACE ABOVE FIXTURE.



NOTE
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1 SECOND FLOOR REFLECTED CEILING PLAN - LIGHTING

0' 8' 16' 32'
1/16" = 1'-0"

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3009 W HISTORIC HWY 66
GALLUP, NM 87301

SHEET TITLE
SECOND FLOOR
REFLECTED CEILING
PLAN - LIGHTING

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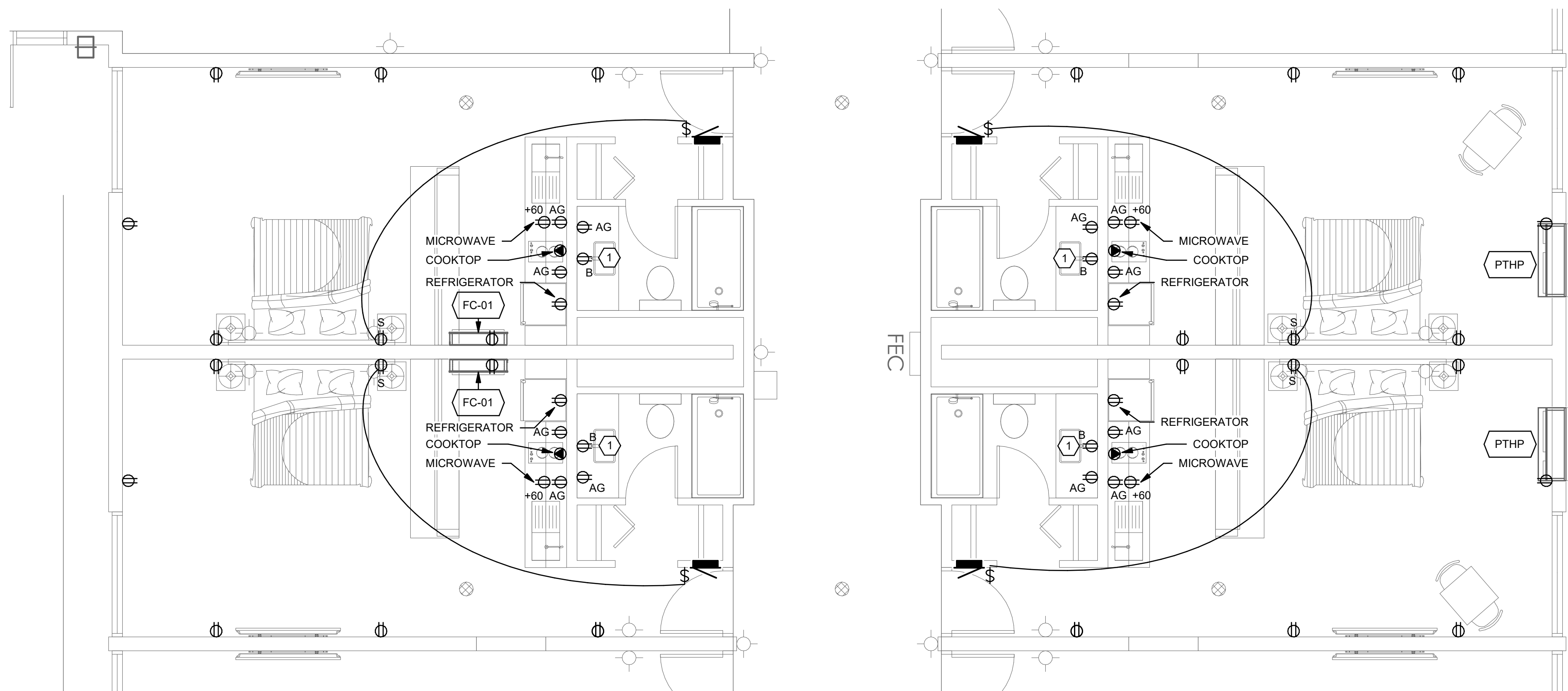


GENERAL SHEET NOTES

- A. PROVIDE 100-AMP, 208-VOLT / 1-PHASE, 16-CIRCUIT LOAD CENTER IN EACH DWELLING UNIT.
- B. PROVIDE ARC-FAULT CIRCUIT BREAKERS FOR ALL 120-VOLT, 1-PHASE, 15-AMP AND 20-AMP BRANCH CIRCUITS.
- C. ALL RECEPTACLES IN DWELLING UNITS TO BE TAMPER RESISTANT TYPE.
- D. PROVIDE COMBINATION TYPE AFCI AND GFCI CIRCUIT BREAKER IN PANEL FOR RECEPTACLES WHERE EQUIPMENT BLOCKS THE TEST SWITCH DEVICES.
- E. PROVIDE RECEPTACLES IN DWELLING UNITS SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6-FEET FROM A RECEPTACLE.
- F. REFER TO SHEET E6.1 FOR TYPICAL PANEL SCHEDULES.

SHEET KEYNOTES

1. VANITY MIRROR (ADL-4836JZ BY OTHERS) WITH INTEGRAL TOUCH SENSOR AND DIMMER. COORDINATE WITH OWNER PROJECT MANAGER FOR RECEPTACLE LOCATION. CIRCUIT DOWNSTREAM OF GFCI PROTECTED RECEPTACLE.



1 FLOOR PLAN TYPICAL UNITS - POWER

0' 2' 4' 6'
1/4" = 1'-0"

NOTE
ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL
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SHEET TITLE
ENLARGED UNIT PLANS
- POWER

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E4.0



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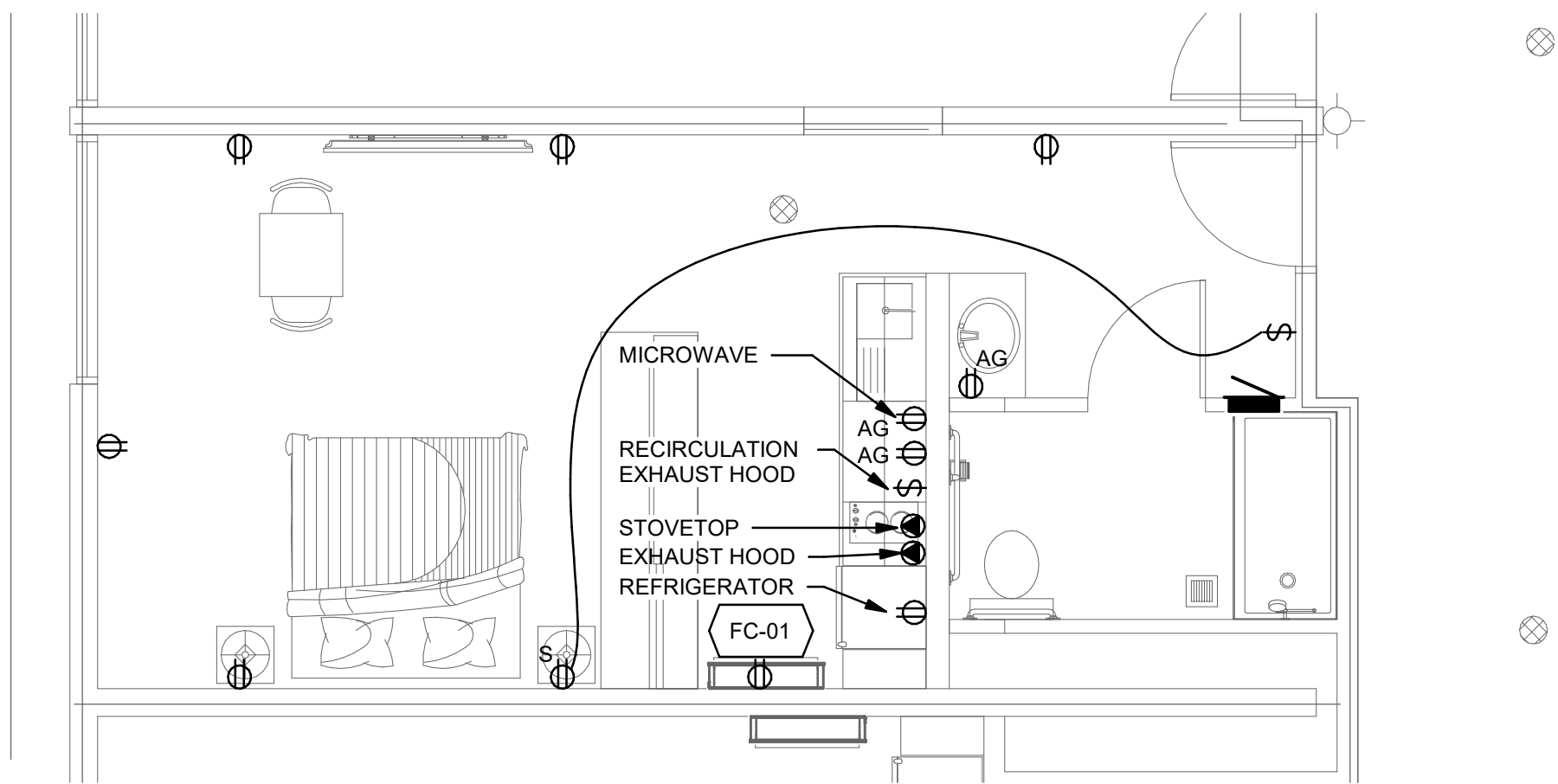
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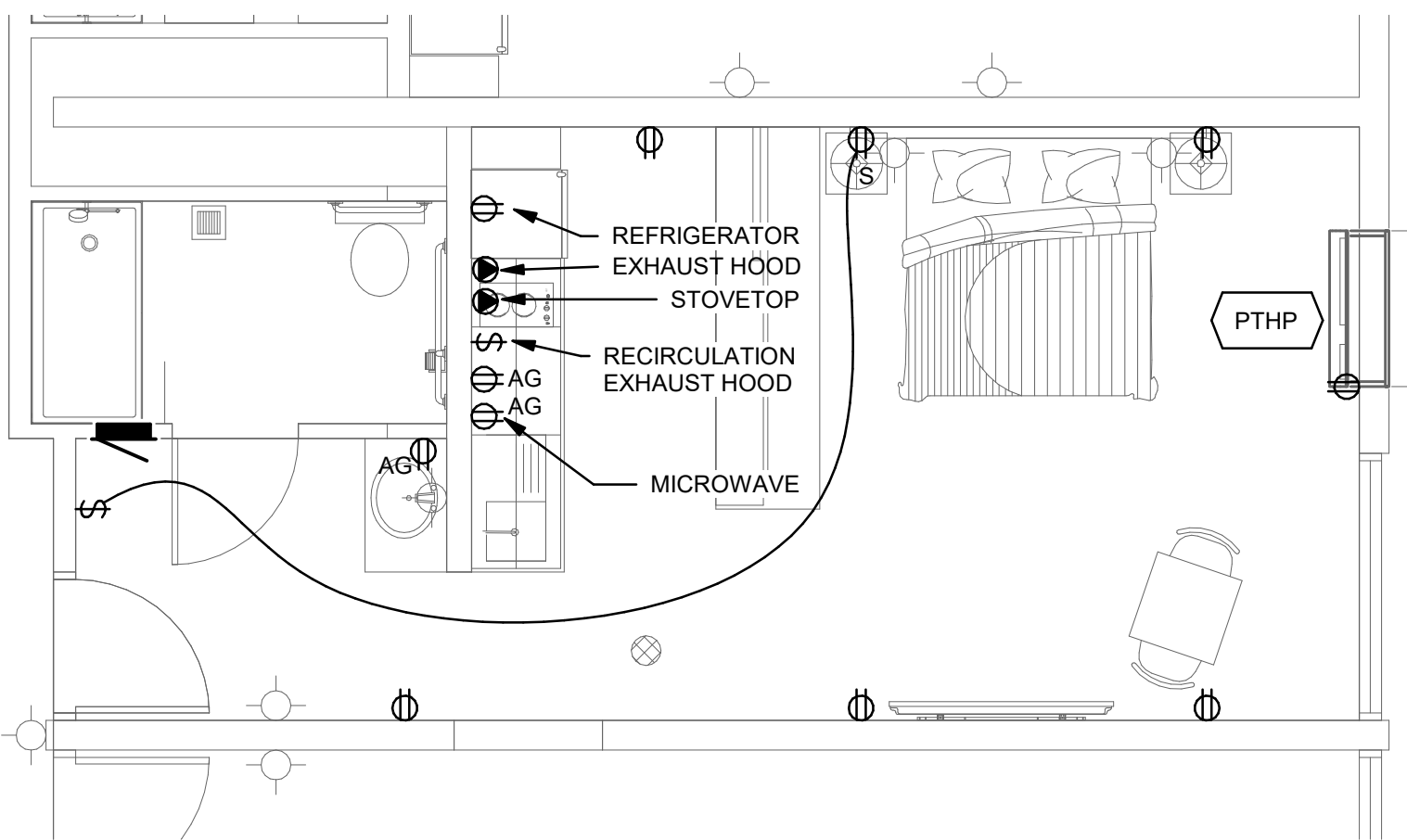
GENERAL SHEET NOTES

- A. PROVIDE 100-AMP, 208-VOLT / 1-PHASE, 16-CIRCUIT LOAD CENTER IN EACH DWELLING UNIT.
- B. PROVIDE ARC-FAULT CIRCUIT BREAKERS FOR ALL 120-VOLT, 1-PHASE, 15-AMP AND 20-AMP BRANCH CIRCUITS.
- C. ALL RECEPTACLES IN DWELLING UNITS TO BE TAMPER RESISTANT TYPE.
- D. PROVIDE COMBINATION TYPE AFCI AND GFCI CIRCUIT BREAKER IN PANEL FOR RECEPTACLES WHERE EQUIPMENT BLOCKS THE TEST SWITCH DEVICES.
- E. PROVIDE RECEPTACLES IN DWELLING UNITS SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE.
- F. REFER TO SHEET E6.1 FOR TYPICAL PANEL SCHEDULES.



1 ENLARGED FLOOR PLAN TYPE A UNIT - POWER

0' 2' 4' 8'
1/4" = 1'-0"



2 ENLARGED FLOOR PLAN TYPE A UNIT - POWER

0' 2' 4' 8'
1/4" = 1'-0"

NOTE
ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL
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GALLUP, NM 87301

SHEET TITLE
ENLARGED ACCESSIBLE
UNIT PLANS - POWER

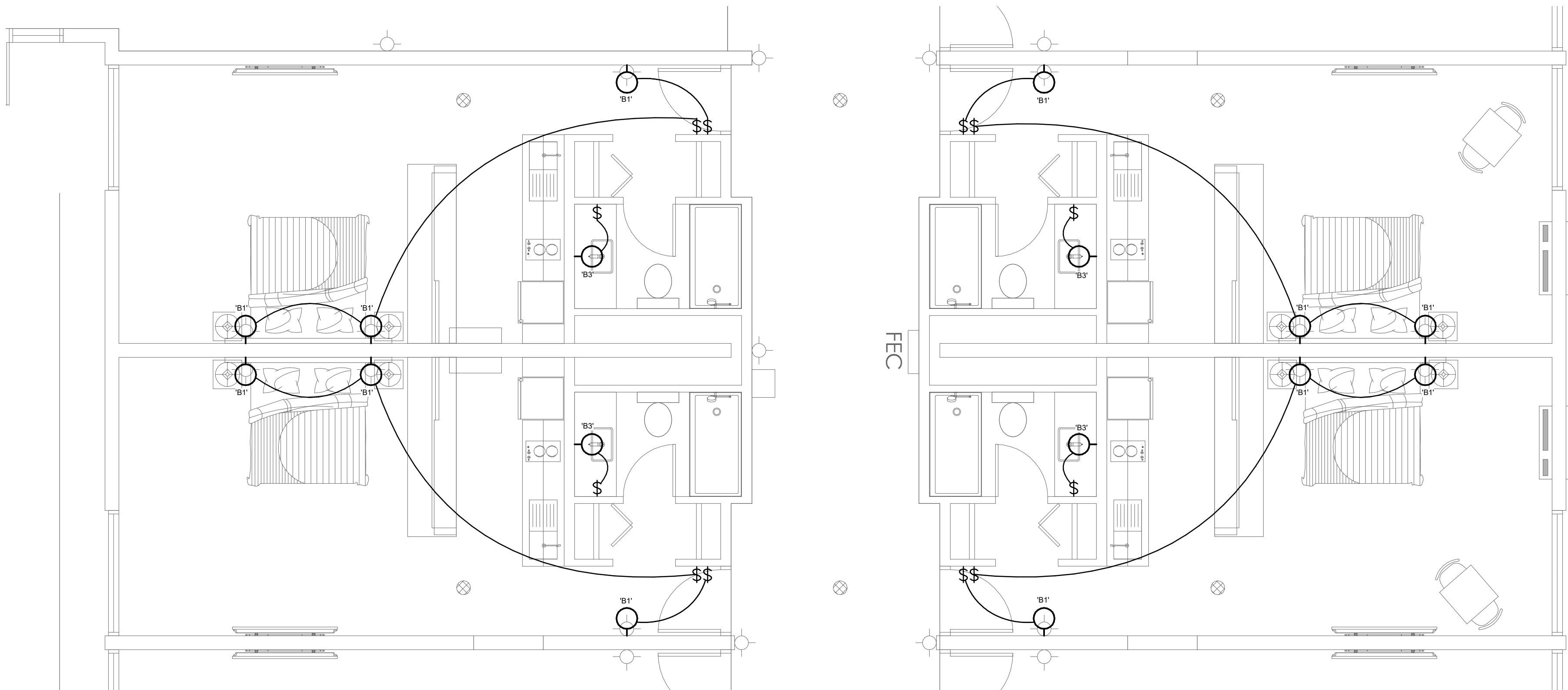
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E4.1

GENERAL SHEET NOTES

- A. PROVIDE NEW UNIT LIGHTING PER LIGHTING CONSULTANT. CIRCUIT NEW LIGHTING TO NEW UNIT LOAD CENTER.
- B. PROVIDE NEW LIGHTING CONTROLS IN EACH DWELLING UNIT.
- C. REFER TO SHEET E6.1 FOR TYPICAL PANEL SCHEDULES.



1 REFLECTED CEILING PLAN TYPICAL UNITS - LIGHTING

0' 2' 4' 6'
1/4" = 1'-0"

NOTE
ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL
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GALLUP, NM 87301

SHEET TITLE
ENLARGED UNIT PLANS
- LIGHTING

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A. PROVIDE NEW UNIT LIGHTING PER LIGHTING CONSULTANT. CIRCUIT NEW LIGHTING TO NEW UNIT LOAD CENTER.

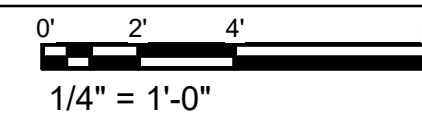
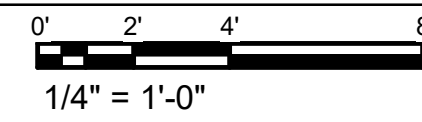
B. PROVIDE NEW LIGHTING CONTROLS IN EACH DWELLING UNIT.

C. REFER TO SHEET E6.1 FOR TYPICAL PANEL SCHEDULES.

ACTIVE
PROFESSIONAL ENGINEER
STATE OF NEW MEXICO CONSTRUCTION INDUSTRIES

NEW MEXICO
27443
PROFESSIONAL ENGINEER

Digitally signed by Jim Saffern
Reason: I have reviewed this document.
Date: 2023.05.12
09:23:17 -07'00'



NOTE
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HAVEN LIVING

3009 W HISTORIC HWY 66
GALLUP, NM 87301

ET TITLE

LARGED ACCESSIBLE T PLANS - LIGHTING

DISCUSSION

OWN BY

CKED BY

NO. 2025

03/3

ET NUMBER

54

E4.3

GROUNDING ELECTRODE CONDUCTOR FOR AC SYSTEMS			
SIZE OF LARGEST SERVICE ENTRANCE CONDUCTOR OR EQUIVALENT AREA FOR PARALLEL CONDUCTORS (AWG/kcmil)		PER TABLE 250.66 N.E.C. SIZE OF GROUNDING ELECTRODE CONDUCTOR	
COPPER	ALUMINUM OR COPPER-CLAD ALUMINUM	COOPER	ALUMINUM OR COPPER-CLAD ALUMINUM
2 OR SMALLER	1/0 OR SMALLER	8	6
1 OR 1/0	2/0 OR 3/0	6	4
2/0 OR 3/0	4/0 OR 250 kcmil	4	2
4/0 THRU 350 kcmil	300 kcmil THROUGH 500 kcmil	2	1/0
400 kcmil THROUGH 600 kcmil	600 kcmil THROUGH 900 kcmil	1/0	3/0
750 kcmil THROUGH 1100 kcmil	1000 kcmil THROUGH 1750 kcmil	2/0	4/0
OVER 1100 kcmil	OVER 1750 kcmil	3/0	250

WHERE MULTIPLE SETS OF SERVICE-ENTRANCE CONDUCTORS ARE USED AS PERMITTED IN N.E.C. ARTICLE 230.40, EXCEPTION NO. 2, THE EQUIVALENT SIZE OF THE LARGEST SERVICE-ENTRANCE CONDUCTOR SHALL BE DETERMINED BY THE SUM OF THE AREAS OF THE CORRESPONDING CONDUCTORS OF EACH SET. WHERE THERE ARE NO SERVICE-ENTRANCE CONDUCTORS, THE GROUNDING ELECTRODE CONDUCTOR SIZE SHALL BE DETERMINED BY THE EQUIVALENT SIZE OF THE LARGEST SERVICE ENTRANCE CONDUCTOR REQUIRED FOR THE LOAD TO BE SERVED. SIZE THE MAIN BONDING JUMPER PER NEC 250.102 (C)(1)

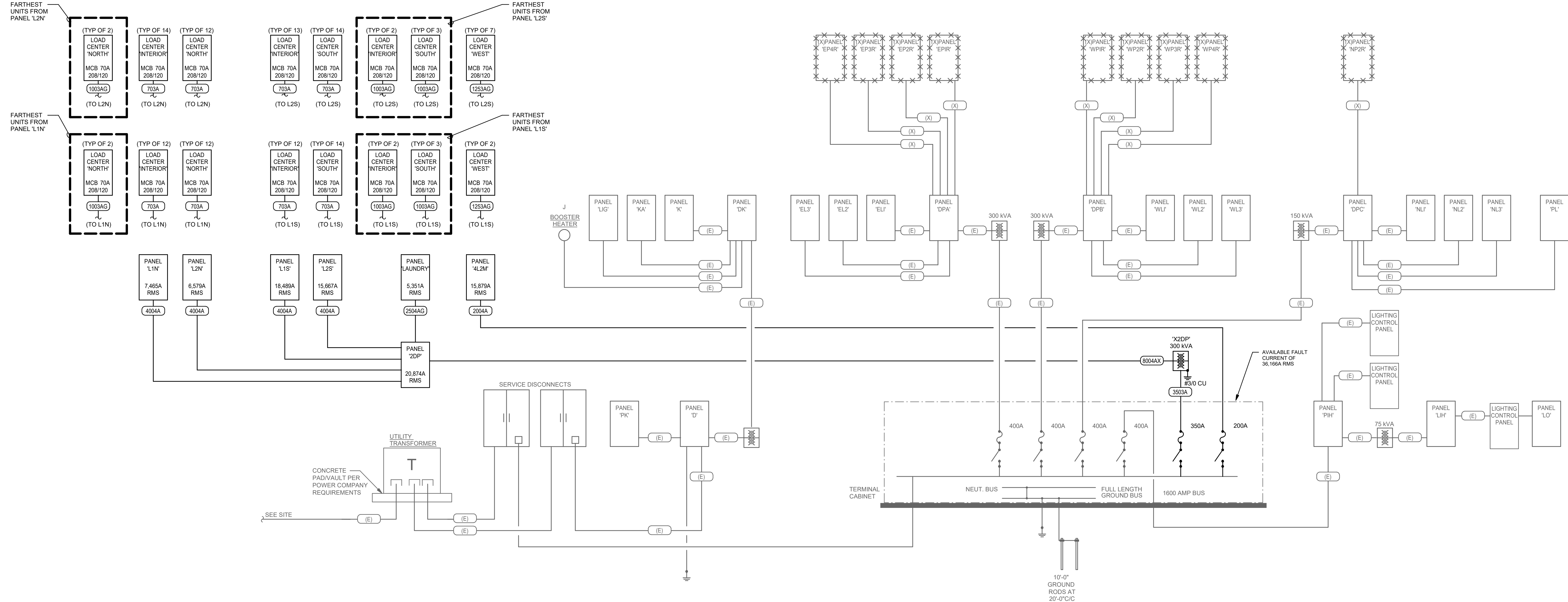
AIC RATINGS SCHEDULE PANELBOARDS AND SWITCHBOARDS	
120/208/240V	UP TO 125 AMPS: 10KAIC MINIMUM 200 TO 400 AMPS: 14KAIC MINIMUM 600 TO 1200 AMPS: 42KAIC MINIMUM 1600 TO 2000 AMPS: 65KAIC MINIMUM 2500 TO 4000 AMPS: 65KAIC MINIMUM
277/480V	UP TO 125 AMPS: 14KAIC MINIMUM 200 TO 400 AMPS: 22KAIC MINIMUM 600 TO 1200 AMPS: 42KAIC MINIMUM 1600 TO 2000 AMPS: 65KAIC MINIMUM 2500 TO 4000 AMPS: 65KAIC MINIMUM

FEEDER SCHEDULE	
A.C.S.X	A=Aluminum C=Conduit only X=Separately derived system G=Upsized ground due to voltage drop
(E)	EXISTING FEEDER
(X)	DEMOLISH FEEDER
703A	3 #2 AL, 1 #6 CU GND., IN 1 1/4" C.
1003AG	3 #1/0 AL, 1 #6 CU GND., IN 1 1/2" C.
1253AG	3 #2/0 AL, 1 #4 CU GND., IN 1 1/2" C.
2004A	4 - 250 kcmil AL, 1 #6 CU GND., IN 2 1/2" C.
2504AG	4 - 350 kcmil AL, 1 #4 CU GND., IN 3" C.
3503A	2 SETS OF (3 #4/0 AL, 1 #2 CU GND., IN 2" C.)
4004A	2 SETS OF (4 - 250 kcmil AL, 1 #2 CU GND., IN 2 1/2" C.)
8004AX	3 SETS OF (4 - 400 kcmil AL, 1 #3/0 CU GND., IN 3" C.)

GENERAL SHEET NOTES

- A. MEASURE LOAD OF MAIN SWITCHBOARD FOR MINIMUM 30-DAY PERIOD MEETING NEC 220.87 REQUIREMENTS. SUBMIT MEASUREMENTS TO ARCHITECT FOR ENGINEER REVIEW OF LOADS ON SWITCHBOARD.
- B. MAXIMUM FAULT CURRENT CALCULATED FOR UNIT LOAD CENTERS IS 6,102A RMS.
- C. PROVIDE (4) NEW 250-AMP, 208-VOLT / 3-PHASE DISTRIBUTION PANELBOARDS TO SERVE NEW UNIT LOAD CENTERS. DISTRIBUTION PANELBOARDS TO SERVE THE FOLLOWING QUANTITY OF UNIT LOAD CENTERS.
- LEVEL 1, NORTH: (12) INTERIOR UNITS; (14) NORTH UNITS
LEVEL 1, SOUTH: (14) INTERIOR UNITS; (17) SOUTH UNITS; (2) WEST UNITS
LEVEL 2, NORTH: (14) INTERIOR UNITS; (14) NORTH UNITS
LEVEL 2, SOUTH: (15) INTERIOR UNITS; (17) SOUTH UNITS; (7) WEST UNITS

NOTE
ELECTRICAL CONTRACTOR MUST COMPLY WITH ALL
2017 NATIONAL ELECTRICAL / NEW MEXICO
ELECTRICAL / NEW MEXICO ADMINISTRATIVE CODES
&
ELECTRICAL SYSTEMS AND EQUIPMENT SHALL
COMPLY WITH THE 2018 COMMERCIAL ENERGY
CONSERVATION CODES FOR NEW MEXICO
NMAC 14.7.9





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PROFESSIONAL ENGINEER
STATE OF NEW MEXICO INDUSTRIES
27493
Professional Engineer
Electrical
08.03.17.07.02

NOTE
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NMAC 14.7.9

HAVEN LIVING
3009 W HISTORIC HWY 86
GALLUP, NM 87301

SHEET TITLE
SCHEDULES -
ELECTRICAL

REVISIONS

DRAWN BY
KCL

CHECKED BY
MKO

JOB NO.
2022-1372

DATE
03/31/2023

SHEET NUMBER

E6.1

MECHANICAL EQUIPMENT CONNECTION SCHEDULE

ITEM	DESCRIPTION	LOCATION	VOLTS / PHASE	LOAD	MCA	MOCP	WIRE / CONDUIT	CIRCUIT	NOTES
DOAS-1	DUCT HEATER	ROOF	480/3		13.8	20	203	4L2M-1.3.5	
DOAS-2	DUCT HEATER	ROOF	480/3		13.8	20	203	4L2M-7.9.11	
RTU-01	ROOFTOP UNIT	ENTRY / ADMIN	480/3		18	20	203	4L2M-2.4.6	
RTU-02	ROOFTOP UNIT	COMMON AREA	480/3		10	15	203	4L2M-8.10.12	
RTU-03	ROOFTOP UNIT	NORTH STORAGE	480/3		33	45	403	4L2M-14.16.18	
RTU-04	ROOFTOP UNIT	SOUTH STORAGE	480/3		18	20	203	4L2M-20.22.24	
RTU-05	ROOFTOP UNIT	GYM	480/3		18	20	203	4L2M-26.28.30	
CU-01	CONDENSING UNIT	INTERIOR UNITS	208/1		10	15	202	UNIT PANEL	
FC-01	FAN COIL	INTERIOR UNITS	208/1				202	UNIT PANEL	1
PTHP-01	PACKAGED TERMINAL HEAT PUMP	NORTH UNITS	208/1		14.1	15	202	UNIT PANEL	
PTHP-02	PACKAGED TERMINAL HEAT PUMP	SOUTH UNITS	208/1		19.5	20	202	UNIT PANEL	
PTHP-03	PACKAGED TERMINAL HEAT PUMP	WEST UNITS	208/1		27.6	30	302	UNIT PANEL	

GENERAL MECHANICAL EQUIPMENT CONNECTION SCHEDULE NOTES

- A. THE ABOVE INFORMATION IS FOR A SPECIFIC MANUFACTURER. ACTUAL MANUFACTURER FOR EQUIPMENT MAY BE DIFFERENT. COORDINATE WITH MECHANICAL EQUIPMENT SUBMITTALS FOR LOADS AND OVER CURRENT PROTECTION REQUIREMENTS PRIOR TO INSTALLATION OF WIRING.
- B. MOCP = MAXIMUM OVER CURRENT PROTECTION
MCA = MINIMUM CIRCUIT AMPACITY
- C. PROVIDE DISCONNECTING MEANS FOR EACH ITEM OF EQUIPMENT LISTED IN THE SCHEDULE ABOVE, EXCEPT AS SPECIFICALLY NOTED OTHERWISE IN SCHEDULE NOTES, BELOW.

MECHANICAL EQUIPMENT CONNECTION SCHEDULE NOTES

- 1 SERVED FROM ASSOCIATED CONDENSING UNIT

WIRE / CONDUIT SCHEDULE

- 202 2 #12 CU, 1 #12 CU GND, IN 3/4" C.
203 3 #12 CU, 1 #12 CU GND, IN 3/4" C.
302 2 #10 CU, 1 #10 CU GND, IN 3/4" C.
403 3 #8 CU, 1 #10 CU GND, IN 3/4" C.

Panel 'Interior Unit'									
Ckt. No.	Description / Location	Load (VA)/Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA)/Type	Description / Location
1	R - KITCHEN	1,500 R	20/1	A	15/2	832 M	CU-01 / FC-01		
3	R - KITCHEN	1,500 R	20/1	C	-	832 M			
5	COOKTOP - KITCHEN	900 K	20/2	A	20/1	66 L	L - LIVING SPACE		
9	R - RESTROOM EXHAUST FAN	360 R	20/1	A			SPARE		
11	R - LIVING SPACE	1,260 R	20/1	C			SPARE		
13	BUSSED SPACE			A			BUSSED SPACE		
15	BUSSED SPACE			C			BUSSED SPACE		
Connected Load:		Ph. A	3,658 VA	30 Amps	Panel Connected Load:		8.2 KVA	39.2 Amps	
Connected Load:		Ph. C	4,492 VA	37 Amps	Sub-Fed Connected Load:		0.0 KVA	0.0 Amps	
						Total Demand Load:		8.8 KVA	41.3 Amps

Panel 'North Unit'									
Ckt. No.	Description / Location	Load (VA)/Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA)/Type	Description / Location
1	R - KITCHEN	1,500 R	20/1	A	15/2	1,173 M	PTHP-01		
3	R - KITCHEN	1,500 R	20/1	C	-	1,173 M			
5	COOKTOP - KITCHEN	900 K	20/2	A	20/1	66 L	L - LIVING SPACE		
7		900 K	-	C			SPARE		
9	R - RESTROOM EXHAUST FAN	360 R	20/1	A			SPARE		
11	R - LIVING SPACE	1,260 R	20/1	C			SPARE		
13	BUSSED SPACE			A			BUSSED SPACE		
15	BUSSED SPACE			C			BUSSED SPACE		
Connected Load:		Ph. A	3,999 VA	33 Amps	Panel Connected Load:		8.8 KVA	42.5 Amps	
Connected Load:		Ph. C	4,833 VA	40 Amps	Sub-Fed Connected Load:		0.0 KVA	0.0 Amps	
						Total Demand Load:		9.4 KVA	45.4 Amps

Panel 'South Unit'									
Ckt. No.	Description / Location	Load (VA)/Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA)/Type	Description / Location
1	R - KITCHEN	1,500 R	20/1	A	20/2	1,622 M	PTHP-02		
3	R - KITCHEN	1,500 R	20/1	C	-	1,622 M			
5	COOKTOP - KITCHEN	900 K	20/2	A	20/1	66 L	L - LIVING SPACE		
7		900 K	-	C			SPARE		
9	R - RESTROOM EXHAUST FAN	360 R	20/1	A			SPARE		
11	R - LIVING SPACE	1,260 R	20/1	C			SPARE		
13	BUSSED SPACE			A			BUSSED SPACE		
15	BUSSED SPACE			C			BUSSED SPACE		
Connected Load:		Ph. A	4,448 VA	37 Amps	Panel Connected Load:		9.7 KVA	46.8 Amps	
Connected Load:		Ph. C	5,282 VA	44 Amps	Sub-Fed Connected Load:		0.0 KVA	0.0 Amps	
						Total Demand Load:		10.6 KVA	50.8 Amps

Panel 'West Unit'									
Ckt. No.	Description / Location	Load (VA)/Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA)/Type	Description / Location
1	R - KITCHEN	1,500 R	20/1	A	30/2	2,296 M	PTHP-03		
3	R - KITCHEN	1,500 R	20/1	C	-	2,296 M			
5	COOKTOP - KITCHEN	900 K	20/2	A	20/1	66 L	L - LIVING SPACE		
7		900 K	-	C			SPARE		
9	R - RESTROOM EXHAUST FAN	360 R	20/1	A			SPARE		
11	R - LIVING SPACE	1,260 R	20/1	C			SPARE		
13	BUSSED SPACE			A			BUSSED SPACE		
15	BUSSED SPACE			C			BUSSED SPACE		
Connected Load:		Ph. A	5,122 VA	43 Amps	Panel Connected Load:		11.1 KVA	53.3 Amps	
Connected Load:		Ph. C	5,956 VA	50 Amps	Sub-Fed Connected Load:		0.0 KVA	0.0 Amps	
						Total Demand Load:		12.2 KVA	56.9 Amps

Panel '4L2M'									
Ckt. No.	Description / Location	Load (VA)/Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA)/Type	Description / Location
1	DOAS-1	3,058 M	20/3	A	20/3	3,989 M	RTU-01		
3		3,058 M	-	B	-	3,989 M			
5		3,058 M	-	C	-	3,989 M			
7	DOAS-2	3,058 M	20/3	A	15/3	2,216 M	RTU-02		
9		3,058 M	-	B	-	2,216 M			
11		3,058 M	-	C	-	2,216 M			
13	BUSSED SPACE			A	45/3	7,313 M	RTU-03		
15	BUSSED SPACE			B	-	7,313 M			
17	BUSSED SPACE			A	-	7,313 M			
19	BUSSED SPACE			A	20/3	3,989 M	RTU-04		
21	BUSSED SPACE			B	-	3,989 M			
23	BUSSED SPACE			A	20/3	3,989 M	RTU-05		
25	BUSSED SPACE			B	-	3,989 M			
27	BUSSED SPACE			C	-	3,989 M			
29	BUSSED SPACE			B	-	3,989 M			
31	BUSSED SPACE			A	-	3,989 M			
33	BUSSED SPACE			B	-	3,989 M			
35	BUSSED SPACE			C	-	3,989 M			
37	BUSSED SPACE			A	-	3,989 M			
39	BUSSED SPACE			B	-	3,989 M			
41	BUSSED SPACE			C	-	3,989 M			
Total Connected Load:		Ph. A	27,612 VA	100 Amps	Panel Connected Load:		62.6 KVA	99.6 Amps	
Total Connected Load:		Ph. B	27,612 VA	100 Amps	Sub-Fed Connected Load:		0.0 KVA	0.0 Amps	
Total Connected Load:		Ph. C	27,612 VA	100 Amps			Total Demand Load:		88.3 KVA 106.2 Amps

2022-1372

Panel 'Laundry'

12/02/20V, 3 Ph., 4 W.; 200A Bus with 200A Main Circuit Breaker Surface Mounted Panelboard

Ckt. No.	Description / Location	Load (VA)/Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA)/Type	Description / Location	Ckt. No.
1	WASHER - 1	750 M	20/1	A	30/2	2,500 H	DRYER - 1			2
3	WASHER - 2	750 M	20/1	B	-	2,500 H				4
5	WASHER - 3	750 M	20/1	C	30/2	2,500 H	DRYER - 2			6
7	WASHER - 4	750 M	20/1	A	-	2,500 H				8
9	WASHER - 5	740 M	20/1	B	30/2	2,500 H	DRYER - 3			10
11	WASHER - 6	750 M	20/1	C	-	2,500 H				12
13	FSDS - WEST	30 M	20/1	A	30/2	2,500 H	DRYER - 4			14
15	SPARE		20/1	B	-	2,500 H				16
17	SPARE		20/1	C	30/2	2,500 H	DRYER - 5			18
19	SPARE		20/1	A	-	2,500 H				20
21	SPARE		20/1	B	30/2	2,500 H	DRYER - 6			22
23	SPARE		20/1	C	-	2,500 H				24
25	SPARE		20/1	A	20/1		SPARE			26
27	SPARE		20/1	B	20/1		SPARE			28
29	SPARE		20/1	C	20/1		SPARE			30
Total Connected Load:		Ph. A	11,530 VA	96 Amps	Panel Connected Load:		34.5 KVA	95.8 Amps		
Total Connected Load:		Ph. B	11,490 VA	96 Amps	Sub-Fed Connected Load:		0.0 KVA	0.0 Amps		
Total Connected Load:		Ph. C	11,500 VA	96 Amps	Total Demand Load:		34.7 KVA	96.3 Amps		

Notes:

Accessories:

Load Type	Load Description	Connected Loads (S)	Subfed Loads (S)	Total Loads	Demand Factor	Demand Load
G	General (Non-Continuous)	0.00	0.00	0.00	100%	0.00 (KVA Typical)
L	Lighting	0.00	0.00	0.00	125%	0.00
R	Receptacles - to 10 KVA	0.00	0.00	0.00	100%	0.00
	over 10 KVA	0.00	0.00	0.00	50%	0.00
K	Kitchen (Non-Dwelling)	0.00	0.00	0.00	100%	0.00
H	Heating	30.00	0.00	30.00	100%	30.00
M	Motors	3.77	0.00	3.77	100%	3.77
LM	Largest Motor	0.75	0.00	0.75	125%	0.94
WH	Water Heater	0.00	0.00	0.00	125%	0.00
C	Continuous General Load	0.00	0.00	0.00	125%	0.00
DL	Multifamily Demand Load (Dwelling Units)	0.00	0.00	0.00	100%	0.00
Total:						34.7 KVA

Panel 'L2N'										2022/01/01
120/208V, 3 Ph., 4 W., 400A Bus with Main Lug Only Surface Mounted Panelboard										
Ckt. No.	Description / Location	Load (VA)/Type	C.B. A/Pole	Note	Ph.	Note	C.B. A/Pole	Load (VA)/Type	Description / Location	Ckt. No.
1	UNIT-NORTH	3,999 DL	70/2	-	A	70/2	3,999 DL	UNIT-NORTH		2
3		4,833 DL	-	-	B	-	4,833 DL	UNIT-NORTH		4
5	UNIT-NORTH	3,999 DL	70/2	-	C	70/2	3,999 DL	UNIT-NORTH		6
7		4,833 DL	-	-	A	-	4,833 DL	UNIT-NORTH		8
9	UNIT-NORTH	3,999 DL	70/2	-	B	70/2	3,999 DL	UNIT-NORTH		10
11		4,833 DL	-	-	C	-	4,833 DL	UNIT-NORTH		12
13	UNIT-NORTH	3,999 DL	70/2	-	A	70/2	3,999 DL	UNIT-NORTH		14
15		4,833 DL	-	-	B	-	4,833 DL	UNIT-NORTH		16
17	UNIT-NORTH	3,999 DL	70/2	-	C	70/2	3,999 DL	UNIT-NORTH		18
19		4,833 DL	-	-	A	-	4,833 DL	UNIT-NORTH		20
21	UNIT-NORTH	3,999 DL	70/2	-	B	70/2	3,999 DL	UNIT-NORTH		22
23		4,833 DL	-	-	C	-	4,833 DL	UNIT-NORTH		24
25	UNIT-NORTH	3,999 DL	70/2	-	A	70/2	3,999 DL	UNIT-NORTH		26
27		4,833 DL	-	-	B	-	4,833 DL	UNIT-NORTH		28
29	UNIT - INTERIOR	3,658 DL	70/2	-	C	70/2	3,658 DL	UNIT - INTERIOR		30
31		4,492 DL	-	-	A	-	4,492 DL	UNIT - INTERIOR		32
33	UNIT - INTERIOR	3,658 DL	70/2	-	B	70/2	3,658 DL	UNIT - INTERIOR		34
35		4,492 DL	-	-	C	-	4,492 DL	UNIT - INTERIOR		36
37	UNIT - INTERIOR	3,658 DL	70/2	-	A	70/2	3,658 DL	UNIT - INTERIOR		38
39		4,492 DL	-	-	B	-	4,492 DL	UNIT - INTERIOR		40
41	UNIT - INTERIOR	3,658 DL	70/2	-	C	70/2	3,658 DL	UNIT - INTERIOR		42
43		4,492 DL	-	-	A	-	4,492 DL	UNIT - INTERIOR		44
45	UNIT - INTERIOR	3,658 DL	70/2	-	B	70/2	3,658 DL	UNIT - INTERIOR		46
47		4,492 DL	-	-	C	-	4,492 DL	UNIT - INTERIOR		48
49	UNIT - INTERIOR	3,658 DL	70/2	-	A	70/2	3,658 DL	UNIT - INTERIOR		50
51		4,492 DL	-	-	B	-	4,492 DL	UNIT - INTERIOR		52
53	UNIT - INTERIOR	3,658 DL	70/2	-	C	70/2	3,658 DL	UNIT - INTERIOR		54
55		4,492 DL	-	-	A	-	4,492 DL	UNIT - INTERIOR		56
57	R - ROOF EAST	360 R	20/1	-	B	-	-	BUSSED SPACE		58
59	R - ROOF NORTH	900 R	20/1	-	C	-	-	BUSSED SPACE		60
Total Connected Load:		Ph. A	84,910 VA	707 Amps	Panel Connected Load:		161.1 KVA	502.7 Amps		
Total Connected Load:		Ph. B	77,954 VA	649 Amps	Sub-Tot Connected Load:		0.0 KVA	0.0 Amps		
Total Connected Load:		Ph. C	76,144 VA	634 Amps	Total Demand Load:		60.8 KVA	168.3 Amps		
Notes:										
Accessories:										
Load	Description	Connected Loads	Subtotal Loads (S)	Total Loads	Demand Factor	Demand Load	(KVA Typical)			
Type	General (Non-Continuous)	0.00	0.00	0.00	100%	0.00				
L	Lighting	0.00	0.00	0.00	125%	0.00				
R	Receptacles - 1 to 10 KVA	1.26	0.00	1.26	100%	1.26				
	over 10 KVA	0.00	0.00	0.00	50%	0.00				
K	Kitchen (Non-Dwelling)	0.00	0.00	0.00	100%	0.00				
H	Heating	0.00	0.00	0.00	100%	0.00				
M	Motors	0.00	0.00	0.00	100%	0.00				
W	W/ Largest Motor	0.00	0.00	0.00	0.25%	0.00				
WH	Water Heater	0.00	0.00	0.00	125%	0.00				
C	Continuous General Load	0.00	0.00	0.00	125%	0.00				
DL	Multifamily Demand Load (28 Dwelling Units)	179.86	0.00	179.86	33%	59.26				
Total:							60.82 KVA			